



# MANASOTA KEY DESIGN GUIDELINES

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DRAFT JUNE 1, 2004





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# INTRODUCTION

Section 1. The Manasota Key Design Guidelines were developed to direct the design quality of commercial and residential construction on the Charlotte County portion of the Key. Public workshops and meetings with the Manasota Key Steering Committee were conducted to solicit community input into the key features included in these Design Guidelines. The Design Guidelines will act as a reference tool for the Design Review Committee to use so they can consistently review proposed construction projects while allowing for design flexibility, which is critical to the continued eclectic character of the Key.





## AUTHORITY AND PURPOSE

Section 2. Authority. These document shall be adopted as the Manasota Key Design Guidelines and shall be adopted as referenced in and as attachment to the Charlotte County Zoning Code as Addendum \_\_ and shall be applicable to all development and improvements within Manasota Key.

Section 3. Purpose. The purpose of the Manasota Key Design Guidelines is to ensure the preservation and enhancement of the Manasota Key community character, quality of life and sustainability. These guidelines are adopted for the purpose of implementing the policies, goals and objectives of the Comprehensive Plan and shall further implement the contents and regulations of the Charlotte County Zoning Code.

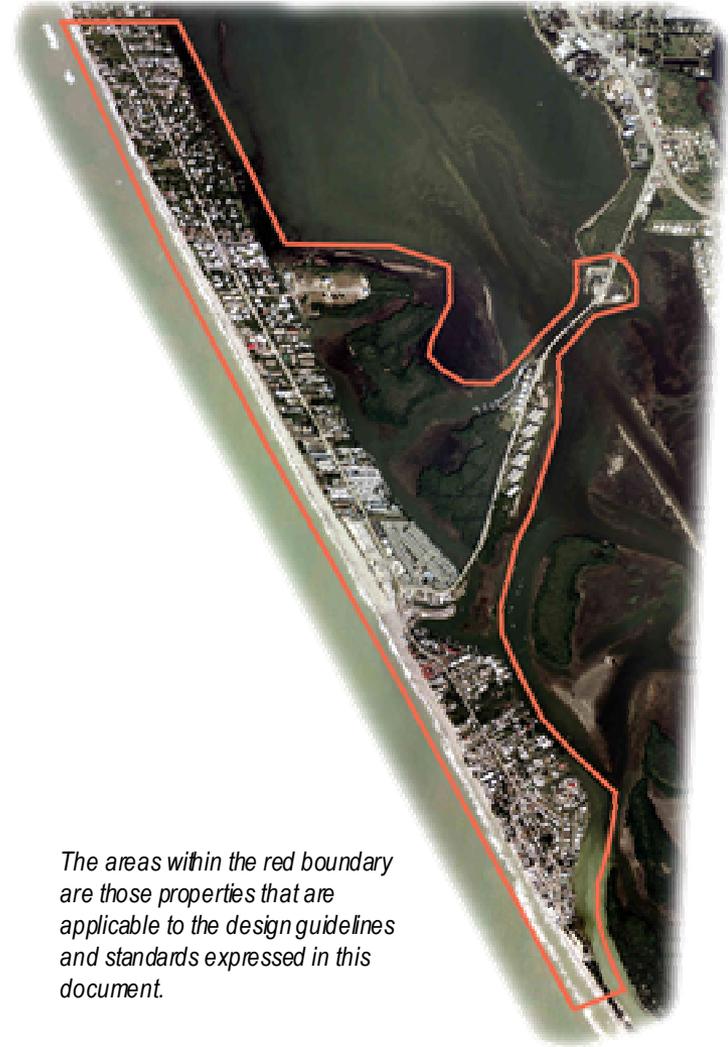
Section 4. Intent. The intent of the Manasota Key Design Guidelines is to enhance and maintain the character of the Key by providing specific criteria in which the built environment will be created, maintained and restored. These guidelines are intended to implement the policies, goals and objectives of the Comprehensive Plan as adopted and envisioned by its citizens and the Board of County Commissioners.



# AUTHORITY AND PURPOSE

Section 5. Applicability . The Manasota Key Design Guidelines shall be applicable to all development upon Manasota Key and Sandpiper Key . Applicable areas are delineated on the graphic on this page. All new structures, additions and enhancements shall be conducted in accordance to these design guidelines. These guidelines shall be applicable to structures and site development. These guidelines shall be only applicable to new construction and in cases where improvements exceed 50% of the assessed value of said structure. Only exemptions specifically expressed and stated within this document shall be allowed.

Section 6. Pictures and Graphics. The Manasota Key Design Guidelines shall include pictures and graphics to illustrate regulations, standards and ideas. The pictures and graphics herein shall be considered regulatory standards and shall constitute development requirements. Only portions of pictures and graphics that express a particular idea or standard shall be applicable. Other aspects of the picture or graphic not specifically intended to regulate development shall not be considered a development requirement.



*The areas within the red boundary are those properties that are applicable to the design guidelines and standards expressed in this document.*



# NON-CONFORMITIES

Section 7. Non-conformities. This section shall apply to all development on Manasota Key that does not conform to the Manasota Key Design Guidelines.

Section 7.1 Classification. Non-conformities shall be classified as projects and structures that do not conform to these guidelines. Specifically, non-conformities are classified as structures, buildings, uses, structure placement and building orientation.

Section 7.2 Creation. In order to be classified as a non-conformity, the project, structure or situation must be established by at least one of the following modes:

A. The non-conformity must have been legally created under other regulations or an absence thereof prior to the adoption of these guidelines.

B. The non-conformity was created where a lawful public taking has occurred.

7.3 Intent Concerning Non-conformities. It is the intent of this section to require the cessation of non-conformities and permit such structures to continue until such time they are removed or corrected but specifically not to encourage their survival. It is also intended that non-conformities with regards to these guidelines not be used as grounds for enlarging by means of extension or expansion except as specified in this section.

7.4 Expansion of Non-conformities. Non-conforming structures may be expanded by means that are consistent with the Manasota Key Design Guidelines and concur with the following standards.

A. In no circumstances shall structures, buildings or site configurations be expanded to become more non-conformity than they may otherwise exist.

B. Reconstruction, repair, or enhancement of an existing non-conforming structure shall adhere to the entirety of these guidelines if said improvement exceeds fifty percent of the replacement cost of the structure. Incremental improvement values will be aggregated over a five year period in determining this standard.

C. All new portions of an existing building or developed site shall adhere to the Manasota Key Design Guidelines.





## DESIGN GUIDELINES

Section 8. Design Guidelines. Design guidelines shall be applied to all development as expressed in this section. These design guidelines generally address the following aspects of development: building facades, building height, building roofs, accessory structures, fences, lighting, site arrangement, mobile home structures, and non-residential structures.





# BUILDING FAÇADE - Materials

Section 8.1. Building Facade. Building facades shall be construction, maintained, and improved according to the following:

Section 8.1.A Building Materials. Facades shall be improved and constructed with one or a combination of the following materials: masonry, stucco, and wood. These standards shall not apply to doors, windows, or trim. Specific accent materials shall be allowed pursuant to these guidelines.

1. Masonry. A masonry finish may be allowed on any façade; however, unfinished and exposed concrete block shall be prohibited.

2. Stucco. A stucco finish may be allowed on any façade.

3. Wood. A wooden finish may be allowed on any façade pursuant the following additional standards: Wooden panels and board shall be installed in either a flush horizontal or vertical pattern. Slanted wood patterns shall be discouraged unless specifically approved by the Board.

4. Vinyl / Hardi-plank. Vinyl siding, or similar materials may be permitted provided that the pattern resembles wooden panels.



*Appropriate façade materials include:*

- A. Brick*
- B. Wood / shake*
- C. Vinyl / Hardi-plank*
- D. Stucco & stone*



## BUILDING FAÇADE - Materials



A

*A. Accent materials such as rock are appropriate around building entrances or portions of the façade.*

5. Accent Materials. Rock and tile may be used as accent materials on building façades. In general, accent materials should be limited to twenty percent of the building façade. When proposed, faux finishes should resemble indigenous Florida rock.

6. Prohibited Materials. The following materials shall be specifically prohibited for all building façades: metal and reflective surfaces.



## BUILDING FAÇADE - Materials

A



B



C



*A variety of façade materials are appropriate for Manasota Key buildings and specifically include:*

- A. Horizontal siding.*
- B. Stucco exterior with wood or cast stone accent columns.*
- C. Vertical wooden siding and accent elements.*





## BUILDING FAÇADE - Windows

8.1.B. Windows. Windows shall be placed on all facades or new additions thereof. Windows shall be installed and consistent with the following standards.

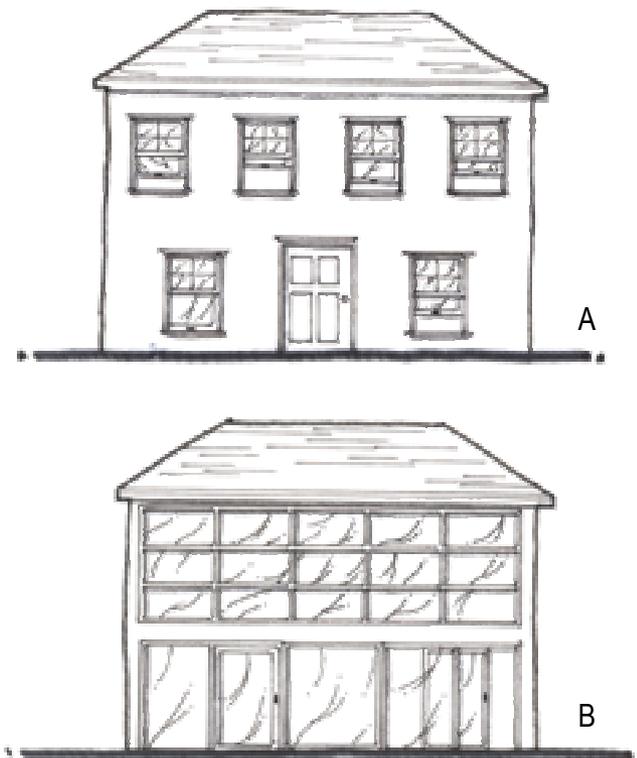
1. Windows shall encompass a minimum of twenty percent of the front building façade. In situations where an addition is added to a portion of an existing façade, only new portions shall be applicable to this standard.

2. Windows should not exceed sixty percent of the building façade area in which they are located.

3. Window tinting shall not resemble a mirror or other highly reflective surface.

4. Windows on the front façade shall be a minimum of seven square feet in area. Accent windows above or around doorways and other windows shall be exempt from this standard.

5. A single window panel should not exceed 40 square feet, unless consistent with a clearly defined architectural style.



*Building facades shall include the following design considerations:*

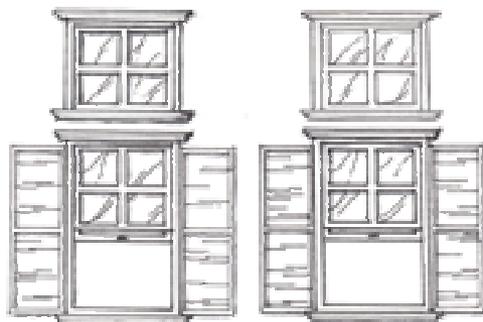
*A. Windows should encompass at least 20 percent of the front façade area.*

*B. Windows should not exceed 60 percent of the front façade area.*

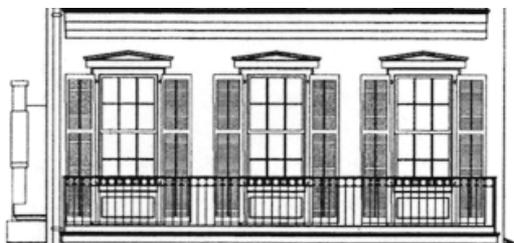




## BUILDING FAÇADE - Windows



A



B



C

*Windows should be placed on all building facades and exterior walls to create architectural interest. At a minimum windows should be designed considering the following:*

- A. Windows should encompass seven square feet in area; however, accent windows are exempt from this standard.*
- B. Windows should create architectural detail that complement the structure in which they are attached.*
- C. Windows should form a balanced percentage of the façade area.*
- D. Front facades should possess a generous amount of windows to project a welcoming appearance as seen from the street.*



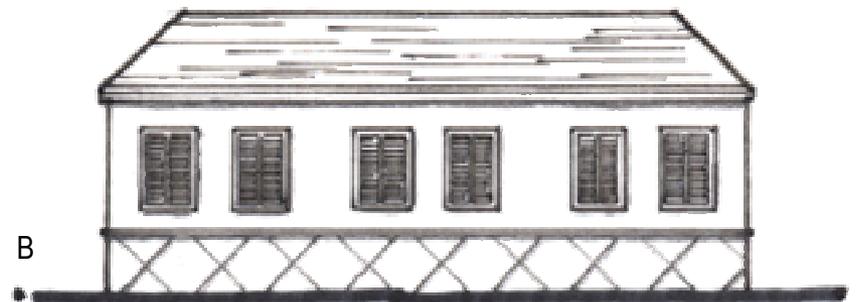
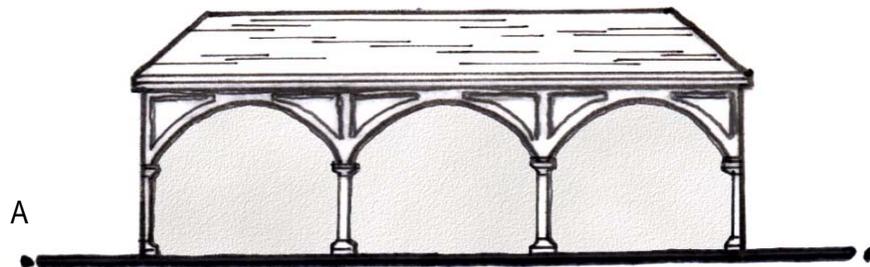
D



## BUILDING FAÇADE – Walls and Entrances

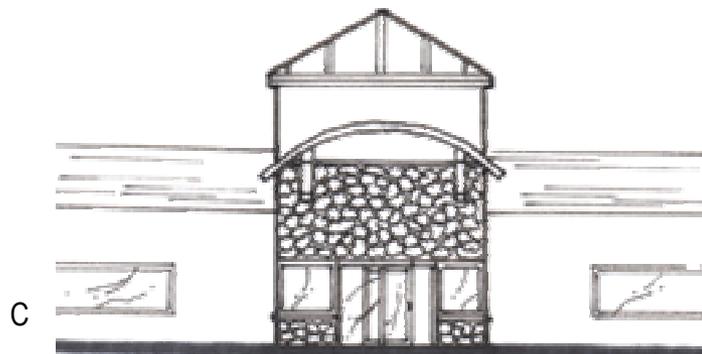
8.1.C. Walls. Exterior building walls shall be designed not to appear as continuous planes with no architectural relief. All exterior building walls shall include a window or other form of architectural relief for every 600 square feet of wall area.

8.1.D. Building Entrances. All buildings should have a clearly defined building entrance.



*A & B. Decorative molding, archways, tile, and/or faux shutters should be used to add insert to otherwise windowless exterior side walls. In no circumstance should an exterior wall be designed to be plain and absent of architectural details.*

*C. Building entrances, especially multi-family and non-residential structures should be framed with architectural features such as porticos, archways, roof structures and/or distinguished façade materials.*





## BUILDING FAÇADE - Garage Doors

8.1.E. Garage Doors. Garage doors shall be installed pursuant to the following design standards.

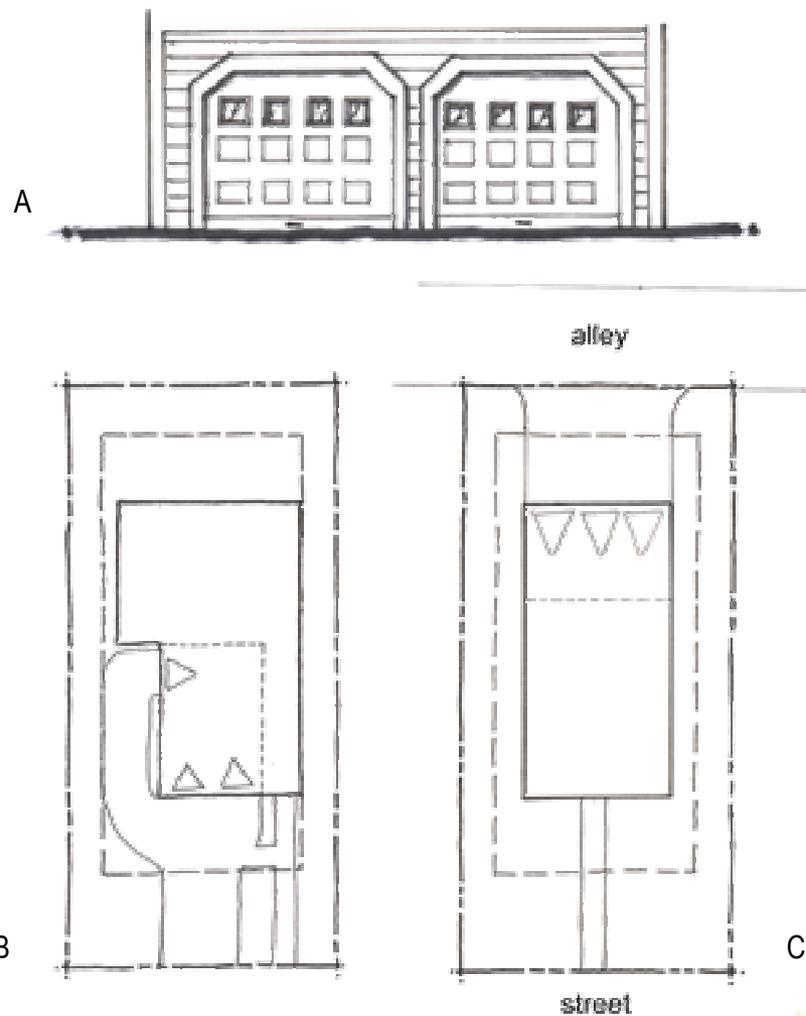
1. An opaque garage door shall be installed on all covered parking areas that are enclosed with walls or lattice on three sides.
2. Garage doors shall be permitted windows along the top portions thereof provided such windows do not exceed twenty percent of the door surface.
3. Garage doors for single-family residential should have a maximum of a two car garage width facing the street.

*Garages should be designed to be harmonious with the building in which they are attached.*

*A. Windows along the top portion of garage doors are encouraged to reduce their appearance as blank surfaces.*

*B. Two garage bays may face the street; additional garage bays should be located to the side or rear of the building.*

*C. Where applicable, garages should be oriented to alleys.*





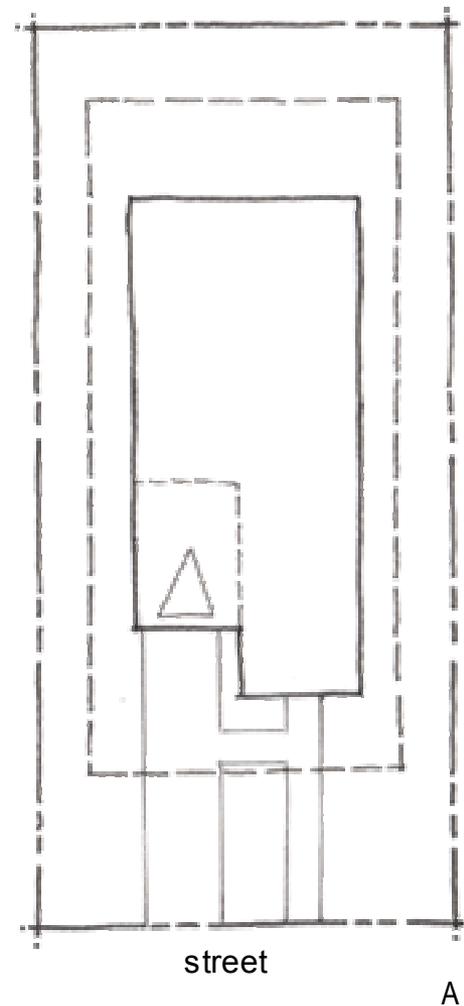
## BUILDING FAÇADE - Garage Doors

4. Garages are preferred to be flush or recessed back from the front façade so as not to dominate the architectural design and appearance.
5. Screens shall be prohibited over any garage door opening.
6. Garage door opening heights should be limited to ten feet unless effectively integrated into the architectural style of the structure.



*A. Garages facing the street are preferred to be recessed behind the primary front façade.  
B. Garages may also be flush with the front façade where building or site constraints preclude the design option expressed in "A". Generally, doors should not be excessive in height.*

B



street

A



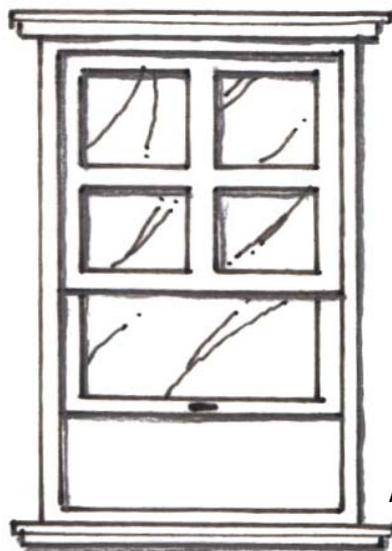
## BUILDING FAÇADE - Trim

8.1.F. Trim. Trim shall be required around all wall openings including but not limited to windows, doors, balconies, and alcoves, except as noted below. Trim shall be installed pursuant to the following additional standards.

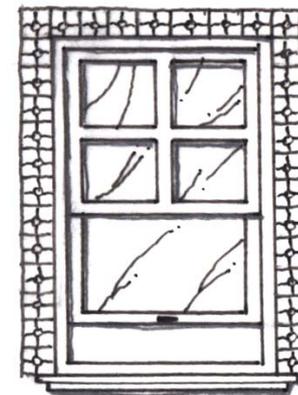
1. Trim shall resemble wood, masonry, stone, stucco or tile. Reflective metal finishes shall be prohibited.

2. Trim shall be a minimum of three inches in width as installed on the building façade.

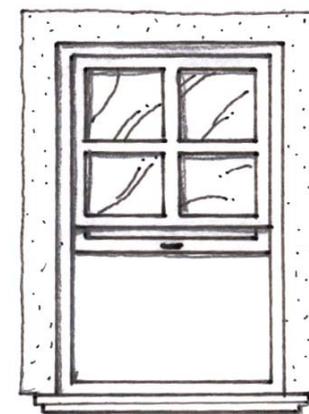
3. Trim requirements may be waived if the Design Review Board determines the building type to be a clearly defined architectural style where trim would not be appropriate.



A



B



C

*Trim should be installed around all exterior wall opening and may include a multitude of materials and styles including:*

A. Wood

B. Tile

C. Stucco, stone or molding



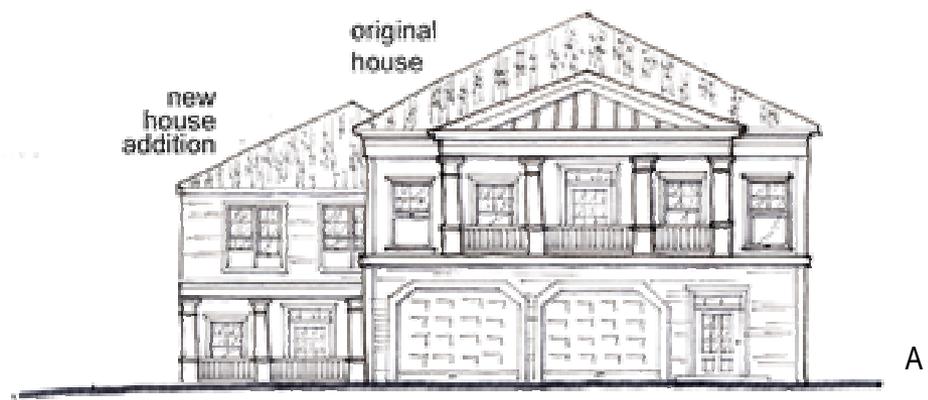
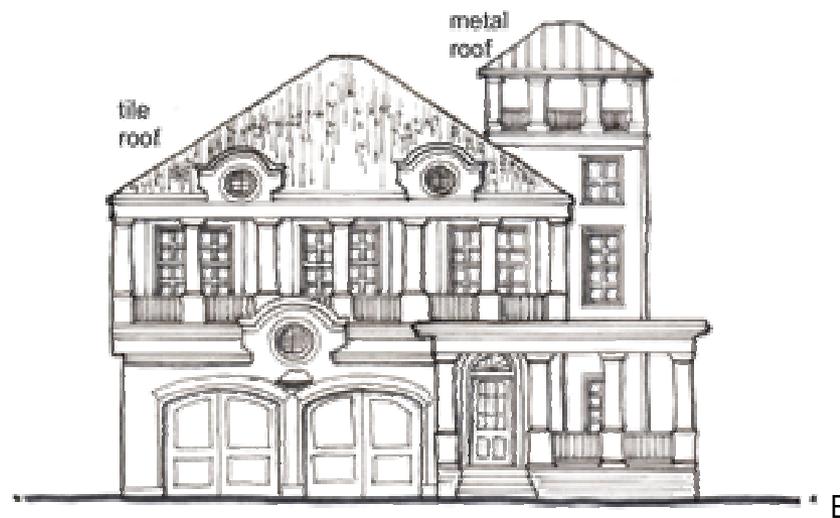
# Roofs

8.2. Roofs. Roofs shall be construction, maintained and repaired consistent with the following guidelines.

8.2.A. Materials. Roof materials shall conform the following standards:

1. For building additions, roofs shall be complementary to materials found on the majority of the roof area of the principle structure. In the event a new roofing material is used on an existing building's addition, the entire structure shall project a complementary style.

2. Roofs shall be predominately opaque in appearance. Glass surfaces such as skylights should be limited.



*Roofs shall be complementary and project a harmonious design on each structure.*

*A. Roof materials on building additions should match or complement the existing portions of said structure.*

*B. Structures may include multiple roofing materials so as all roof structures are harmonious in design.*



# Roofs

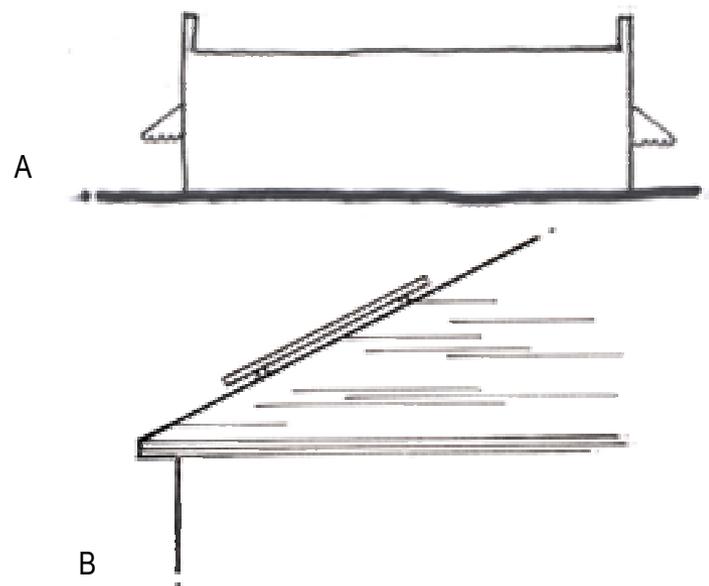
3. Roof materials shall resemble metal, tin, wooden shingle, “dimensional” asphalt shingle, barrel tile, concrete tile, or slate.

4. Flat roofs shall be exempt from all preceding roof material standards and restrictions, provided a parapet or mansard wall is utilized to screen the roofing seams, and effectively integrated as a part of a clearly-defined architectural style.

5. Solar panels shall be installed to be at the same angle of incline as the roof pitch. It is preferred that solar panels be provided on portions of the roof that are not readily seen from abutting roadways.

8.2.B. Shape. Generally, roof shape shall conform to the following standards:

1. Typical A-frame style roofs designs shall not be permitted.
2. Roofs should not be designed as a half circle or curved radius.



*A. Flat roofs are appropriate when buildings are designed with a mansard wall or parapet.  
B. Solar panels should be installed at the same incline as the roof in which they are attached.*



## Architectural Accents and Features

8.3. Architectural Accents and Features. Architectural accents and features placed upon buildings shall conform to the following standards. Items and features not expressly regulated in this section shall be exempt from guidelines, however, items that closely relate or resemble other items herein shall be subject to applicable standards.

8.3.A. Chimneys. Chimneys shall be constructed within the height limitation of Manasota Key Design Guidelines. Chimney building materials may differ from the principal structure. Chimneys must be vertically designed.

8.3.B. Antenna Structures. Generally, antenna structures should be screened and located behind the front building façade. Antenna structures shall be subject to district height limitations unless approved otherwise by the Board.

8.3.C. Shutters. Shutters shall be proportional to structure's windows. Each shutter shall be a maximum width of one half of the window width in which they are attached. Faux shutters not adjacent to windows shall be permitted, provided their width does not exceed six feet.

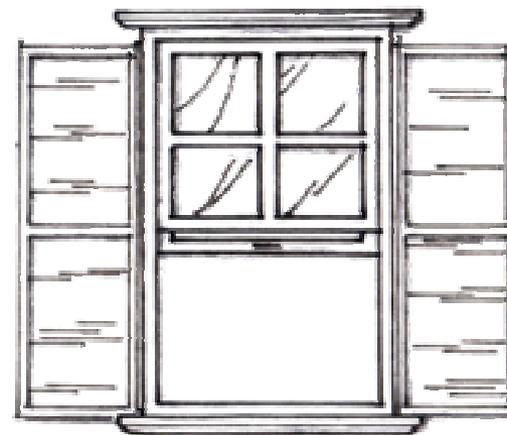
8.3.D. Wall Art. Wall art is permitted upon exterior walls but strongly discouraged from the front building façade. All wall art visible from public streets should reflect the Manasota Key character or coastal setting, and must obtain approval by the Board.

8.3.E. Gutters. Gutters shall resemble and/or match the building trim or primary façade. Gutters shall not cause water to accumulate on neighboring properties or directly upon driveways or sidewalks.

8.3.F. Awnings. Non-residential – Awnings, where allowed by Zoning Ordinance, shall be limited in width to the front display window only.

8.3.G. Lattice. Lattice used on buildings and specifically to conceal structural areas shall be of the same pattern and appearance through the outside of the structure in which it is attached. Lattice shall be permanently secured to the structure in which it rests. All shall be vinyl, or painted.

*A. Shutter shall be proportional to the windows in which they are attached.*



A



## Architectural Accents and Features

8.3.H. Porches. Porches should be included on the front façade of all new buildings. When proposed, porches should be constructed consistent with the following:

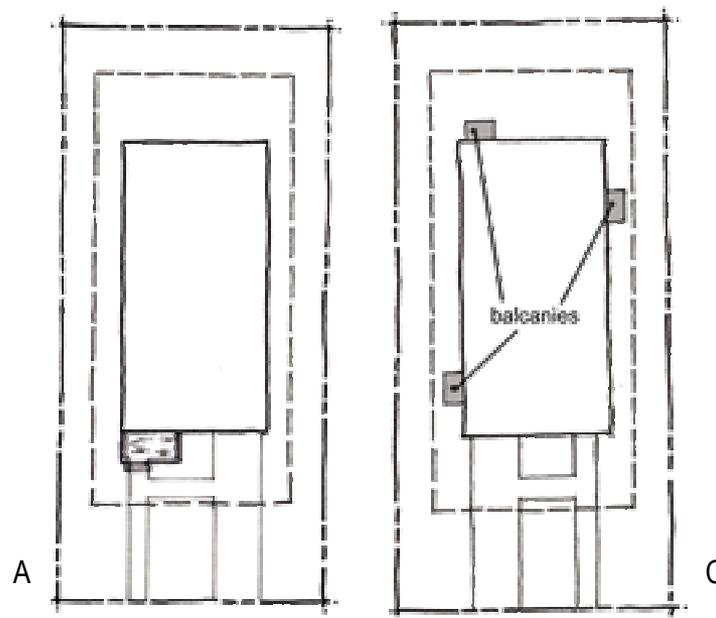
1. Porches should generally provide six feet of depth.
2. Porches should include columns or other support features that complement the architectural style of the structure in which they are attached.

8.3.I. Balconies and porches. Balconies shall be constructed only in conformance with the following standards:

1. Balconies shall be prohibited from encroaching structural setbacks.
2. Balconies should complement the architectural style of the structure in which they are attached.

*Porches should be encouraged on the front façade of all buildings in order to project a welcoming feeling.*

- A. Porches should contain at least six-feet of depth in order to be functional.
- B. The porch should complement the architectural style of the structure in which it is attached.
- C. Balconies are intended to adhere to setback standards.



B



## Architectural Accents and Features

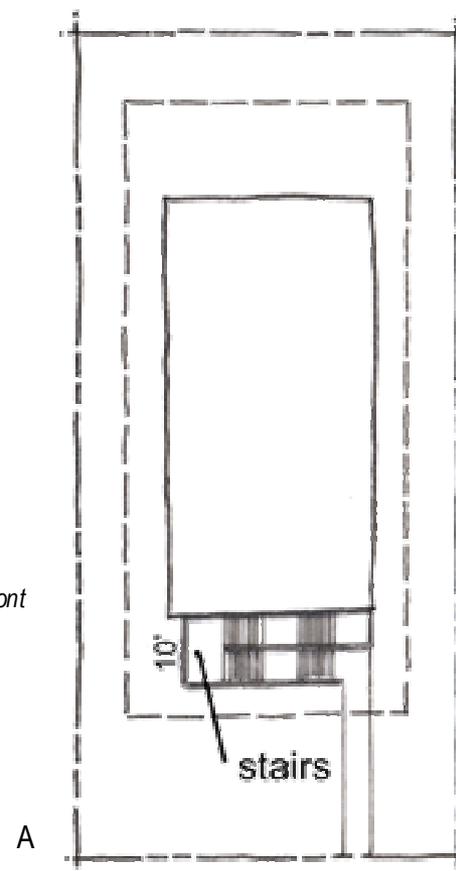
8.3.J. Stairs. Outside staircases shall be constructed and replaced consistent with the following standards:

1. Stairs shall not encroach or cantilever into any structural building setback or recorded access easement.
2. Stairs shall not extend forward of the front building façade in excess of ten feet exclusive of the landing.
3. Stairs shall be integrated into the architectural style of the principle structure in which they are attached. Specifically, stairs should include the same colors, accents, materials and details found on the principle structure.

8.3.K. Widow's Walks. Widow's Walks shall be permitted atop all structures as long as no structural element exceeds the height limitations of the Manasota Key Design Guidelines.

8.3.L. Address Numbers. All structures shall post address numbers on the front building façade in a location either by the front entrance or garage doors. Numbers shall be legible from the adjacent roadway so they are visible by motorists and pedestrians.

*A. Exterior stairs should not extend far distances past the front façade.*





## Lighting

8.4. Lighting. Lighting fixtures, structures and elements shall be constructed, installed, maintained and replaced consistent with the following standards.

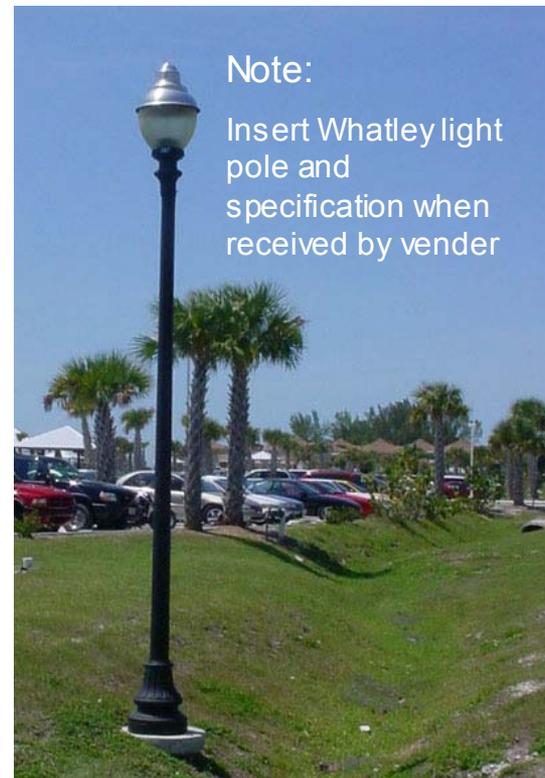
8.4.A. Fixtures. Exterior lighting fixtures shall adhere to the following standards:

1. All lighting fixtures shall be installed to orient light downward and to provide glare reduction optics and shielding features. No fixture shall direct light upward or onto adjacent property. Exemptions shall include small landscaping accent lights that are directed upward to softly illuminate trees and palms.

2. Fixtures for lighting along public rights-of-way and within public park areas should follow a consistent design theme. Dramatically differing styles shall be avoided.

3. Fixtures shall adhere to State requirements regarding sea turtle protection. These design standards are not intended to compromise State turtle protection requirements.

*A. Fixtures located along public rights-of-way and within park areas should generally resemble these details and specifications.*



Note:

Insert Whatley light pole and specification when received by vendor

A



# Lighting

8.4.B. Light Posts. Light posts shall be installed consistent with the following standards:

1. Light posts shall be constructed and installed to resemble wood, polished concrete or painted metal.
2. Unfinished and unpainted metal and concrete surfaces and wooden posts shall be prohibited. This standard shall be applied to all light posts on Manasota Key including but not limited to those used within the public rights-of-way and along private streets.
3. Light posts upon residential properties shall not exceed 16 feet in height.
4. Light posts for public parks, right-of-way and roadways shall be of a standard style and theme.



*Lighting, including fixtures and post, shall complement the general character of Manasota Key.*

*A & B. Fixtures should orient light downward to ensure the night sky is left darkened.*



# Fencing and Walls

8.5 Fences and Walls. Yard fences and walls shall be constructed, installed, maintained and repaired consistent with the following standards:

8.5.A. Existing Fences. Existing fences may be repaired using the existing style, materials and form as previously installed upon a given property in the following circumstances:

1. Repair of individual fence panels when such panels do not exceed twenty percent of the linear feet of the property's total fencing.
2. Replacement of any single post to which a fencing panel is attached.

8.5.B. Materials. The following standards shall govern appropriate fencing materials:

1. Materials should resemble wood, wrought iron masonry and/or PVC.
2. Chain link shall only be used to enclose tennis courts. Chain link shall be vinyl coated and shall not include slats.
3. Unfinished concrete block shall be prohibited.
4. Wood fences and walls, if not painted, shall be pressure treated to prevent deterioration and rot.



A



C



B

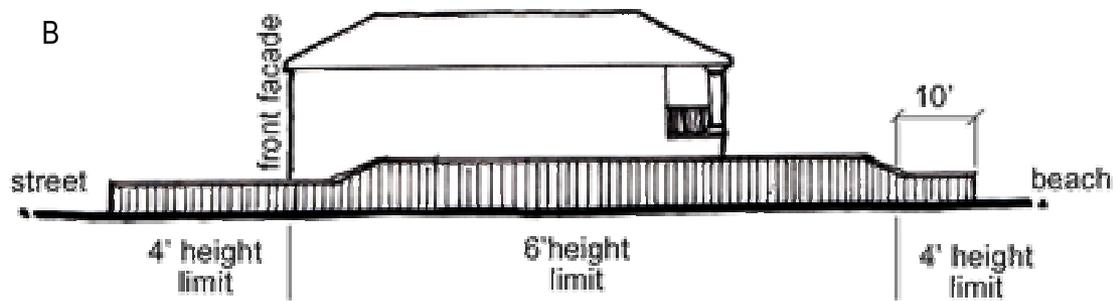
*A. & B. Fencing should be constructed to resemble natural materials. Fences should also include architectural interest throughout the key. C. Fencing should incorporate landscaping to provide design interest.*



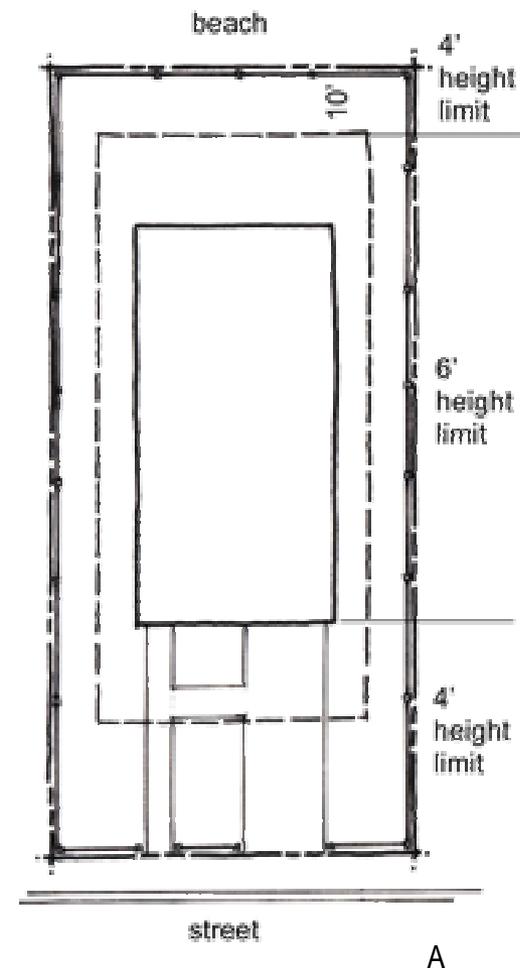
## Fencing and Walls

8.5.C. Height. Fence and wall height shall be regulated pursuant to the following standards.

1. Fences and walls shall not exceed six feet unless otherwise required as part of a project's approval or original permit.
2. Fences and walls shall not exceed four feet for portions placed forward of the front building façade.
3. For properties that abut a public beach or waterbody, fences and walls shall not exceed four feet for portions of the property that are within ten feet of said beach or waterbody.



*A & B. Fence heights should be limited consistent with these diagrams.*





## Accessory Structures – Sheds, Gazebos and Cabanas

8.6. Accessory Structures. When proposed, accessory structures shall be installed, constructed, maintained, and repaired consistent with the following standards.

8.6.A. Sheds, Gazebos, Cabanas and Animal Houses. Said structures shall adhere to the following standards.

1. Sheds, gazebos, cabanas and animal houses shall not be installed forward of the front building façade.

2. Roof materials shall resemble or be complementary to the materials used on the any existing principle structure on the same property. Where multiple structures are present, the property owner may choose a material used on one of the structures.

3. Structures should be limited to 10 feet in height; however, gazebos may be permitted a maximum height of 15 feet.

4. Accessory structures shall not be located within structural setbacks.

5. All accessory structures shall be securely anchored to the ground.



*A. Gazebos may include heights up to 15 feet.  
B & C. Accessory structures must complement existing structures on the same parcel.*

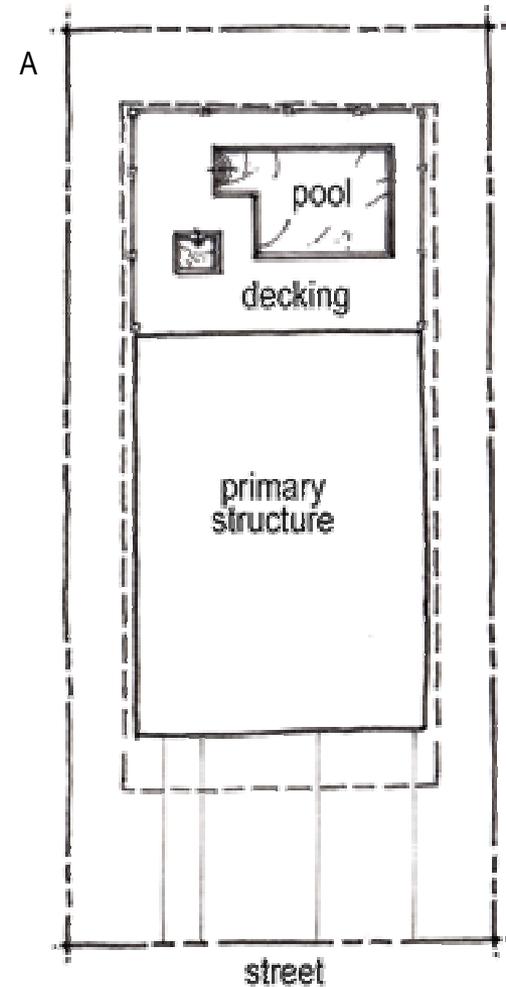


## Accessory Structures – Swimming Pools

8.6.B. Swimming Pools and Spas. Swimming pools, spas and other water features shall be installed and constructed consistent with the following standards.

1. Swimming Pools, Spas and associated decks shall be considered structures and shall not encroach into building setbacks.
2. Structures shall be permitted one vertical accessory including, but not limited to slides and diving boards. Said accessories shall not exceed eight feet in height.
3. Swimming pools shall be permanently installed in the ground or within a masonry foundation. Metal above-ground swimming pools shall be specifically prohibited.
4. Spas shall be securely anchored to the ground. “Portable” spa models shall be modified to adhere to this standard.

*A. Pools, spas and associated decking shall not encroach into any setback.*

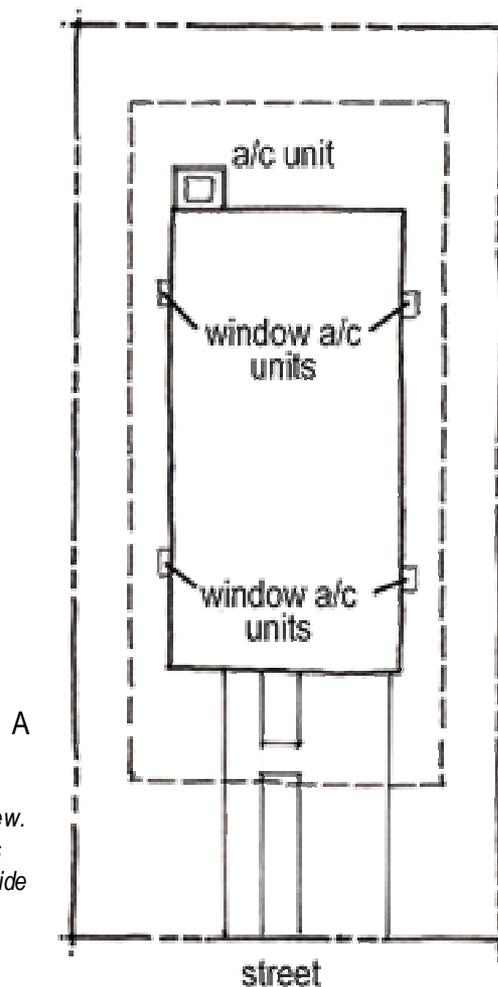




## Accessory Structures – Air Conditioning and Heating Units

8.6.C. Air Conditioning and Heating Units. Air conditioning and heating units shall be installed consistent with the following standards.

1. Units shall not be installed outside the building setbacks. Window units shall not be installed on the front façade.
2. Units shall be screened from off-site view. Window units shall be except from this standard.
3. Units shall not encroach any structural setback.
4. Consideration shall be given to avoid impacts to adjacent properties. This provision shall be enforced at the discretion of the Board.



*A. A/C units should be screened from off-site view. In doing so, window units should be limited to the side and rear exterior walls.*

## Accessory Structures – Waste Receptacles

8.6.D. Waste Receptacles. Waste receptacles shall be installed, constructed, maintained and repaired consistent with the following standards.

1. Individual trash cans shall not be stored forward of the front building façade. Trash can storage areas shall be completely screened from off-site view. This standard shall not apply to dumpsters.

2. Dumpsters in residentially zoned areas shall be stored and screened within an enclosed area. Community dumpsters shall meet other County requirements.

(a) Dumpster enclosures are not required to contain a roof.

(b) Dumpster enclosures shall not be installed forward of the front building façade.

(c) Existing dumpsters and enclosures shall conform to this section and its standards in the following circumstances or a combination thereof: (1) when the dumpster is replaced with a larger unit, (2) when the principle structure in which it is intended is improved beyond fifty percent of the assessed value, or (3) when the dumpster enclosure is over fifty percent damaged.

A



B



*A & B. Dumpsters should generally blend into the architecture of the building in which they are intended to serve.*



## Accessory Structures – Play Equipment, Carports and Mailboxes

8.6.E. Play Equipment. Play equipment, slides, swings and other similar structures shall conform to the following standards. These standards shall apply to items permanently anchored to the ground and those that are temporary or mobile.

1. Items and structures shall not be located forward of the front building façade or beyond side yard setbacks. For residential properties that have frontage on multiple roadways, such structures shall be allowed forward of one of the facades as chosen by the property owner. Multiple person bench-style swings shall be except from this standard.

2. Public parks shall be exempt from these standards.

8.6.F. Carports. Carports and other covered parking areas shall be installed, constructed, and repaired consistent with the following design guidelines. Garages shall be specifically exempt from these standards.

1. Temporary carports and structures not securely anchored to the ground shall be prohibited on any property within Manasota Key.

2. No carport or covered parking roof structure shall encroach or cantilever into a structural setback or any recorded access easement.

8.6.G. Mailboxes. In the event community mailboxes are installed within a given block and mail delivery is available to said properties at the community mailboxes, no individual mailbox shall be installed along rights-of-way.



## Accessory Structures – Garden Features

8.6.H. Garden Features. Garden features such as arbors, trellises, sculptures, fountains, bird baths and the like shall be allowed within any property on Manasota Key. Such garden features shall be installed, constructed, maintained and repaired pursuant to the following guidelines.

1. Structural elements such as arbors, trellises and like features, as well as sculptures and fountains shall be securely anchored to the ground.

2. Garden elements may be permitted toward the front building façade with the following stipulations. Arbors, trellises and like features shall not exceed 15 square feet of footprint area. Sculptures and fountains shall not exceed four feet in height.

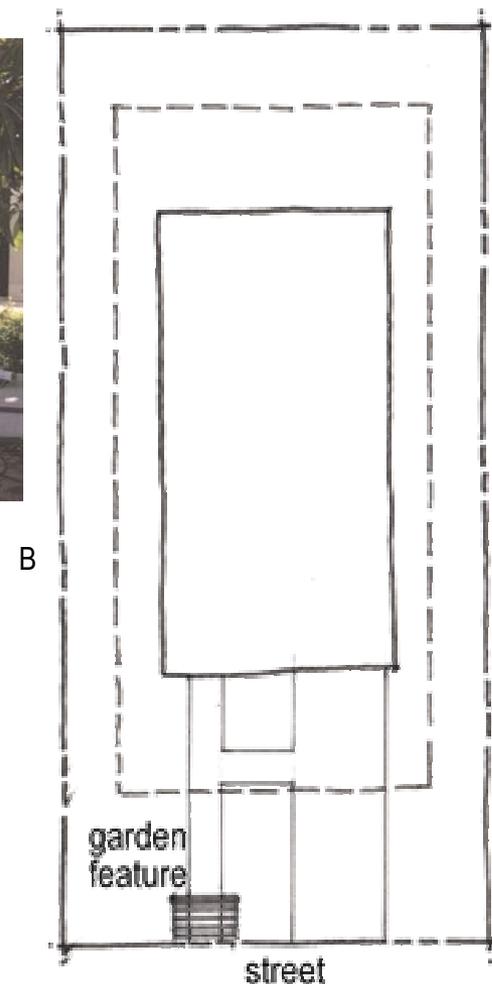
3. Garden features may be allowed within structural setbacks and specifically incorporated into buffers and landscaping areas.



A

*A. Garden features such as arbors and trellises are encouraged.*

*B. Small garden elements such as arbors and trellises are permitted within the front setback.*



B



## Accessory Structures – Vending Machines and Media Racks

8.6.I. Vending Machines, Sales Booths, Media Racks and Other Merchandise Displays. Vending machines, sales booths and other like items intended for merchandise sales and display shall be installed, constructed and replaced consistent with the following standards.

1. Vending machines for beverages, food and tobacco products shall be placed in kiosks or other enclosures. Such machines shall not be placed along front or side building facades. Such machines are prohibited on the exterior of any structure within residential zoning districts.

2. Washing machines, dryers, and stand-alone refrigeration units shall be prohibited outside of an enclosed structure and visible from any public right-of-way.

3. Media racks for newspapers, magazines and other printed publications may be placed on the exterior of buildings but must be included in the standardized Manasota Key media racks.

4. Automatic teller machines and other currency dispensing devices shall only be permitted on the exterior of a structure when affixed to the primary building's exterior wall. Said machines shall only be permitted in a non-residential zoning district.

**INSERT  
STANDARDIZED  
MEDIA RACK**

**TO BE CHOSEN WITH STEERING  
COMMITTEE INPUT**





## Site Design – Driveways

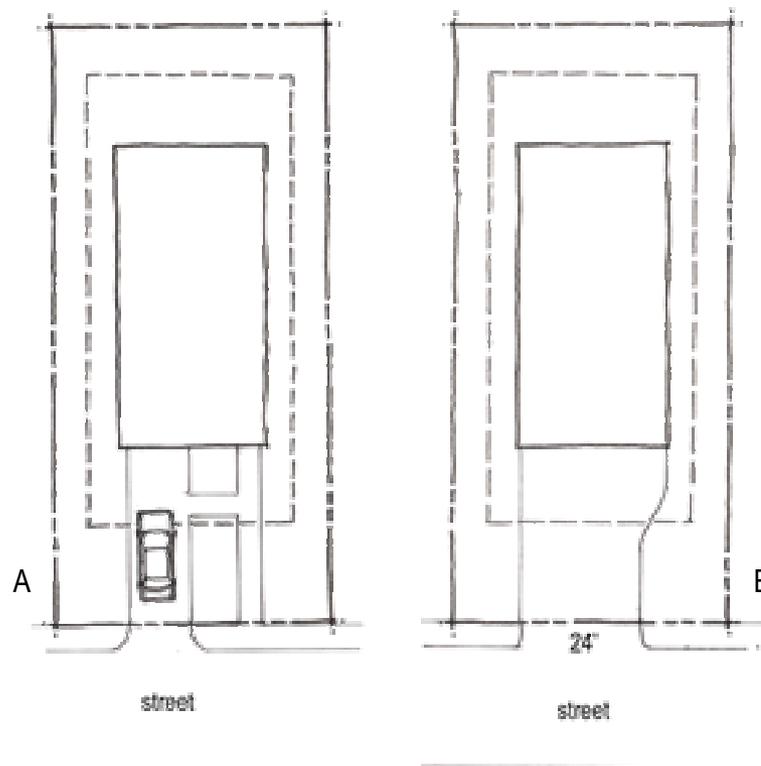
8.7. Site Design. Sites and building placements shall be arranged consistent with the following guidelines.

8.7.A. Driveways. Driveways for use shall be maintained, repaired, constructed and installed consistent with the following guidelines.

1. New driveways shall be constructed to ensure that no portion of a parked vehicle overhangs into the public right-of-way or over any sidewalk or bicycle path intended for public use.

2. New driveways and any existing driveway that requires repair in excess of fifty percent of its original area shall be constructed to resemble one or a combination of the following materials: brick, pavers, rock, pebbles, crushed shell, or gravel. Porous concrete shall only be permitted when treated to resemble one or more of the preceding materials.

3. No driveway shall exceed 24 feet of width at the portions where it connects to a roadway. Additional width may be permitted only to accommodate required turning lanes.



*A. Driveway designs shall adequately accommodate vehicular parking and prevent vehicles from obstructing streets or sidewalks.*

*B. Generally, driveway aprons should not exceed 24 feet in width.*



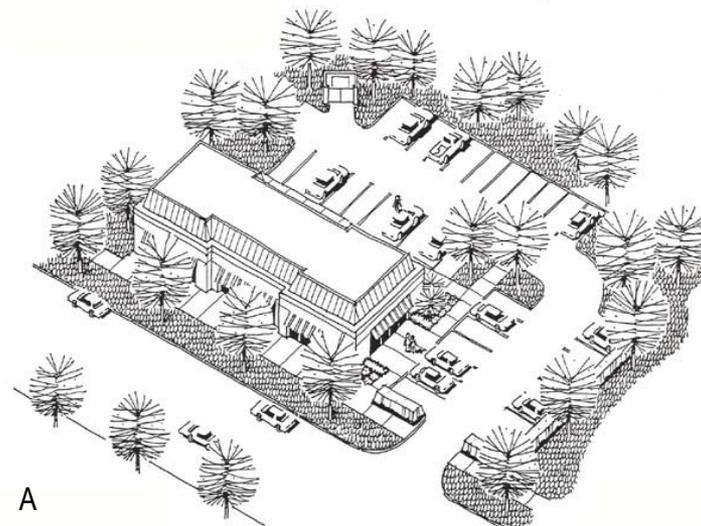
## Site Design – Parking

8.7.B. Parking. Parking areas for new structures or such existing structures that are improved in excess of fifty percent of their assessed structural value shall be improved, expanded, constructed, maintained and repaired consistent with the following guidelines.

1. Parking areas for non-residential structures shall not create situations where vehicles back directly onto paved public roadways.

2. Parking areas for non-residential shall include structures, low fencing or landscaping to buffer vehicles from off-site view from adjacent rights-of-way.

3. Parking areas located forward of the front building façade shall be limited to a single travel aisle with one row of parking spaces on either side.



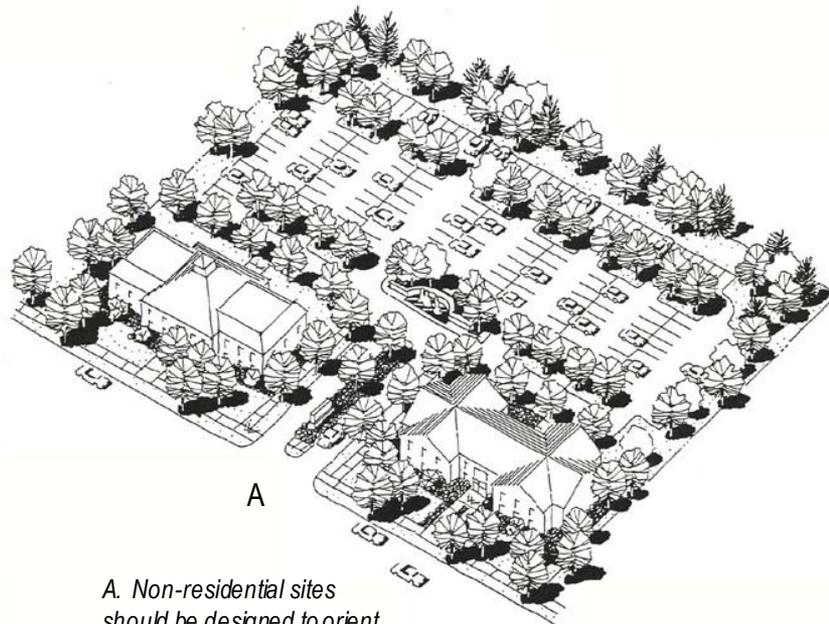
*A. It is preferred to locate exterior parking to the side or rear of non-residential and multi-family structures.*



## Site Design – Building Placement and Orientation for Non-Residential

8.7.D. Building Placement and Orientation – Non-residential. Non-residential structures and such existing structures that involve repair or reconstruction in excess of fifty percent of the structural assessed value shall conform to the guidelines of this subsection. New building additions for said structures shall adhere to these standards in all cases.

1. Primary building entrances shall be oriented to adjacent roadways. Building entrances shall be framed with a porch, portico, arbor, or other similar covered architectural element to enhance the building's entrance to pedestrians.
2. Principle buildings shall include a pedestrian pathway leading from its entrance to the adjacent roadway. Such pathways shall be dedicated, marked and paved. Such pathways shall not require pedestrians to traverse parking areas. Pathways shall provide a minimum of five feet of width for pedestrian movement.
3. Principle buildings shall include a pedestrian pathway along its front façade linking the site to adjacent non-residential properties. Such pathways shall be dedicated, marked and paved. Pathways shall provide a minimum of five feet of width for pedestrian movement.

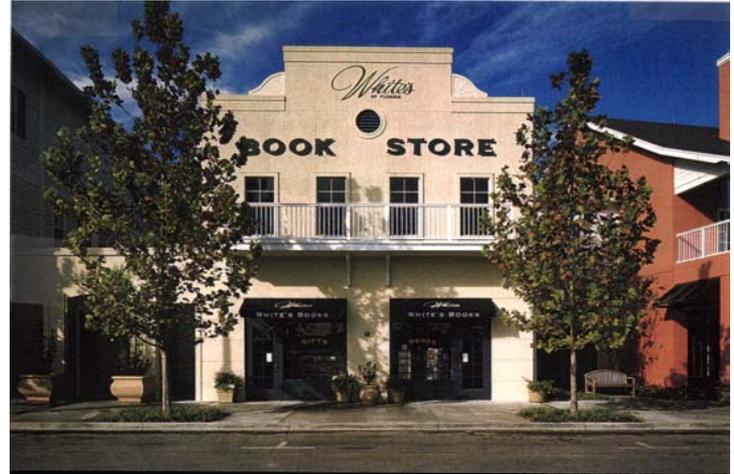


*A. Non-residential sites should be designed to orient buildings to the street and include amenities to facilitate pedestrian movement between uses.*



## Site Design – Building Placement and Orientation

5. Generally, buildings should extend to occupy the majority of the parcel width in which they are located.
6. Loading docks and semi-truck/delivery vehicle parking areas shall be located to the rear or side of buildings. In no circumstances shall such elements be placed between the front building façade and a roadway.
7. Drive-thru facilities shall be prohibited.



A

*A & B. Generally, non-residential buildings should be designed to accommodate safe and convenience pedestrian movement. Additionally, buildings should be in scale with the community in which they are located.*



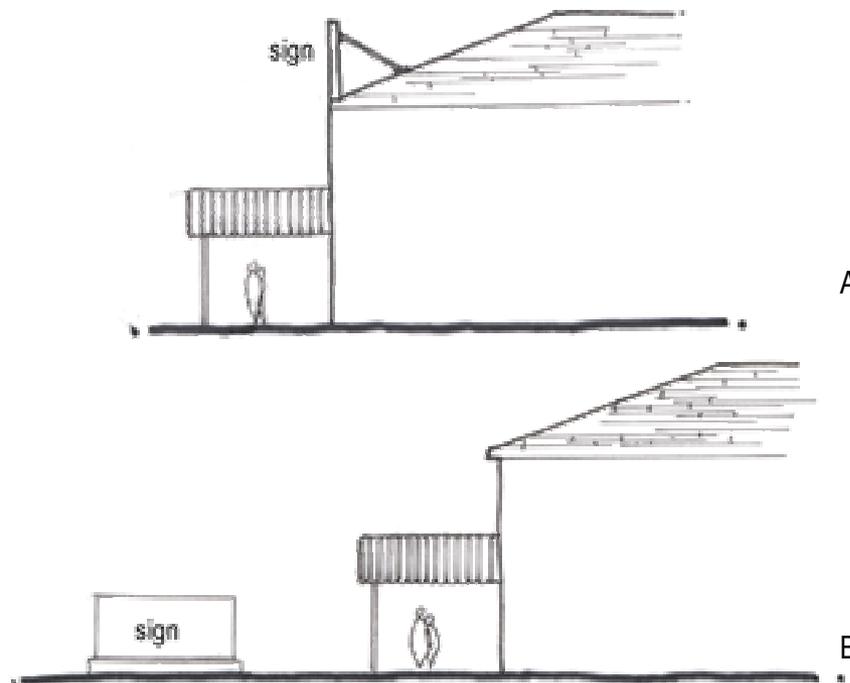
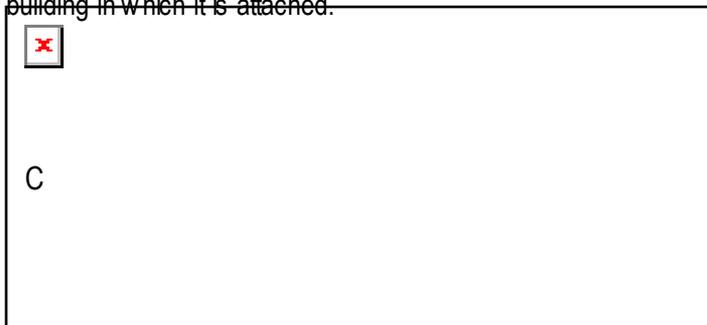
B



# Signage

8.8. Signage – Signage on Manasota Key shall be subject to the provisions and standards of the Charlotte County Zoning Code and the Charlotte Harbor CRA guidelines. In addition to such zoning standards, signs on the Key shall be installed, repaired and constructed consistent with the following additional guidelines:

1. All signage upon a parcel should project a similar design theme and shall incorporate design elements generally portrayed on buildings located the same property .
2. Freestanding signage should be designed as monument or other low-lying structure type.
3. Freestanding signage should not extend above the highest building on the parcel in which the sign is located.
4. Attached signage should not extend higher than the building in which it is attached.



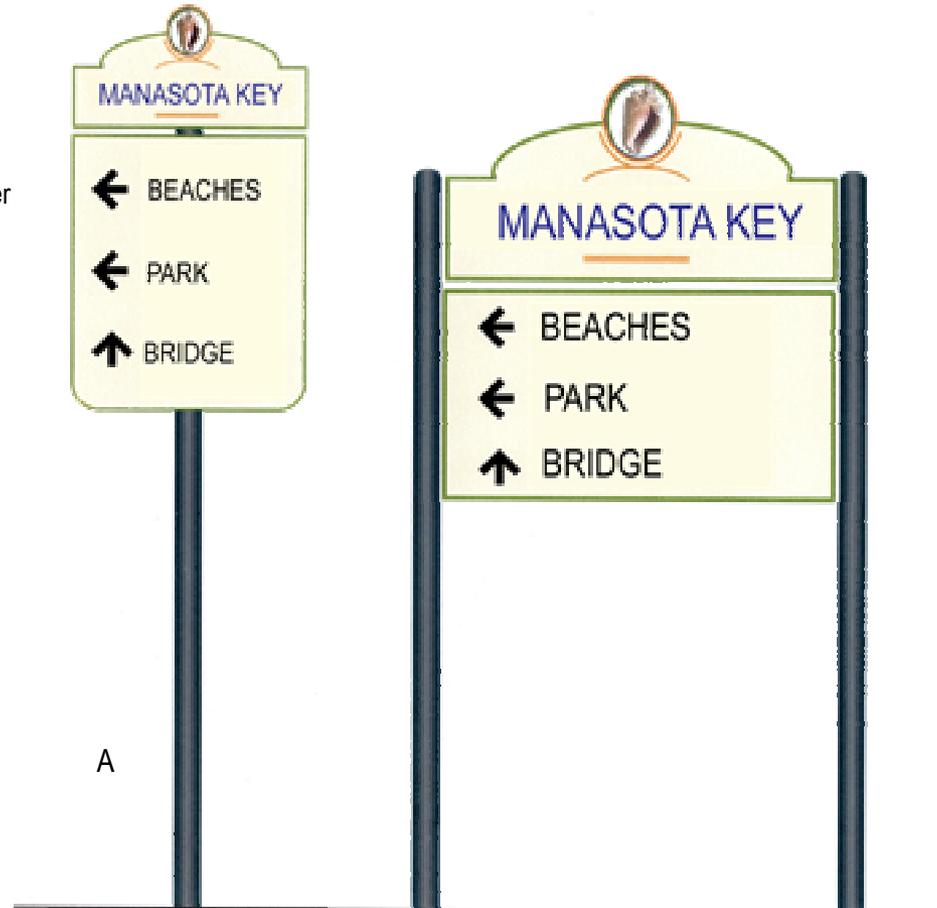
A. Attached signage should not extend higher than the building in which they are attached.  
B & C. Monument-style and ground signs are the preferred freestanding sign type.

# Signage

5. Wayfinding and directional signage within public rights-of-way shall be designed with a cohesive design theme. Designs shall include similar poles, logos, and backgrounds.

6. Gateway features within public rights-of-way and other public land shall be designed with a cohesive design theme.

*A. Wayfinding and directional signage should be designed to be generally consistent with these images. At a minimum, sign designs should include a thematic icon, a standardized color palette and a consistent font setting.*





## Landscaping

8.9. Landscaping – Landscaping on Manasota Key shall be subject to the provisions and standards of the Charlotte County Zoning Code. In addition to such zoning standards, landscaping on the Key shall be installed, repaired and maintained consistent with the guidelines in this section.

1. Single-family residential properties shall be subject to the following standards of this subsection:

(a) One canopy tree should be installed per 5,000 square feet of lot area

(b) Thirty percent of the front yard shall be landscaped with living plant material.

(c) Fifty percent of side yard area shall be treated with living plant material. These areas shall not be entirely paved with sidewalks or other impervious surfaces.

(d) Landscaping areas should be a majority of non-turf plant material. Such areas should be xeric in nature.

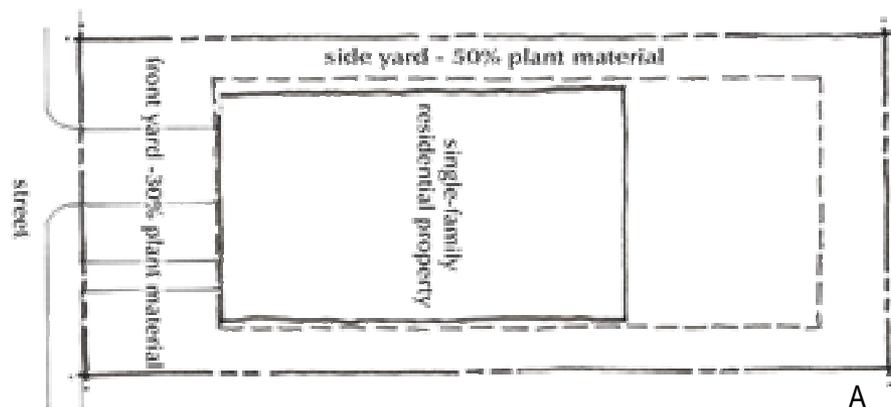
(e) A landscaping plan shall be submitted for all new construction and/or modifications to existing structures that exceed fifty percent of the total structure's replacement value.

2. Multi-family and non-residential properties shall be subject to the following standards of this subsection:

(a) Foundation planting shall be installed around buildings to soft their appearance from off-site view.

(b) Ten percent of the front yard shall be landscaped with living plant material.

(c) A landscaping plan prepared by a registered landscape architect shall be submitted with all new construction and/or modifications to existing structures that exceed fifty percent of the total structure's replacement value.



A. Single-family residential front and side yards should include a finite amount of xeric plant material.





## Definitions

Section 9. Definitions. Terms specific and unique to the Manasota Key Design Guidelines are defined in Appendix "A" of this document. The term and definitions are specific to and only to the ideas, standards and requirements of these design guidelines. In the event terms and definitions conflict with the Charlotte County Zoning Ordinance, such terms and definitions herein shall prevail. Terms and definitions that appear vague shall be clarified by a written letter of interpretation from the Planning Director. In all cases, definitions shall be read and interpreted to benefit the property owner.





## Appendix A

**COLUMN:** A vertical support generally consisting of a base, circular shaft and capital.

**FACADE:** Any face of a building given special architectural treatment .

**GABLE:** The triangular portion of a wall between the enclosing lines of a sloping roof.

**HIP ROOF:** A roof with four uniformly pitched sides.

**LATTICE:** A structure consisting of strips of metal or wood, crossed or interlaced to form regularly spaced openings.

**PARAPET:** A low solid protective wall or railing along the edge of a roof or balcony.

**PORCH:** A covered structure or recessed space at the entrance of a building.

**PORTICO:** A major porch, with a permanent roof supported by columns.

**STUCCO:** A type of plasterwork, either coarse or fine, used for surfacing interior or exterior walls.

