



DESIGN GUIDELINES

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INTRODUCTION

The Manasota Key Design Guidelines were developed to direct the design quality of commercial and residential construction on the Charlotte County portion of the Key. Public workshops and meetings with the Manasota Key Steering Committee were conducted to solicit community input into the key features included in these Design Guidelines. The Design Guidelines will act as a reference tool for the Design Review Committee to use so they can consistently review proposed construction projects while allowing for design flexibility, which is critical to the continued eclectic character of the Key.

INSERT
MANASOTA
KEY
PICTURES

INSERT
MANASOTA
KEY
PICTURES



AUTHORITY AND PURPOSE

Section 2. Authority. These document shall be adopted as the Manasota Key Design Guidelines and shall be adopted as referenced in and as attachment to the Charlotte County Zoning Code as Addendum __ and shall be applicable to all development and improvements within Manasota Key.

Section 3. Purpose. The purpose of the Manasota Key Design Guidelines is to ensure the preservation and enhancement of the Manasota Key community character, quality of life and sustainability. These guidelines are adopted for the purpose of implementing the policies, goals and objectives of the Comprehensive Plan and shall further implement the contents and regulations of the Charlotte County Zoning Code.

Section 4. Intent. The intent of the Manasota Key Design Guidelines is to enhance and maintain the character of the Key by providing specific criteria in which the built environment will be created, maintained and restored. These guidelines are intended to implement the policies, goals and objectives of the Comprehensive Plan as adopted and envisioned by its citizens and the Board of County Commissioners.

Section 5. Applicability. The Manasota Key Design Guidelines shall be applicable to all development upon and within Manasota Key. All new structures, additions and enhancements shall be conducted in accordance to these design guidelines. These guidelines shall be applicable to structures and site development. These guidelines

shall be only applicable to new construction and in cases where improvements exceed 50% of the assessed value of said structure. Only exemptions specifically expressed and stated within this document shall be allowed.

Section 6. Pictures and Graphics. The Manasota Key Design Guidelines shall include pictures and graphics to illustrate regulations, standards and ideas. The pictures and graphics herein shall be considered regulatory standards and shall constitute development requirements. Only portions of pictures and graphics that express a particular idea or standard shall be applicable. Other aspects of the picture or graphic not specifically intended to regulate development shall not be considered a development requirement.

INSERT
PHOTOGRAPH





NON-CONFORMITIES

Section 7. Non-conformities. This section shall apply to all development on Manasota Key that does not conform to the Manasota Key Design Guidelines.

Section 7.1 Classification. Non-conformities shall be classified as projects and structures that do not conform to these guidelines. Specifically, non-conformities are classified as structures, buildings, uses, structure placement and building orientation.

Section 7.2 Creation. In order to be classified as a non-conformity, the project, structure or situation must be established by at least one of the following modes:

A. The non-conformity must have been legally created under other regulations or an absence thereof prior to the adoption of these guidelines.

B. The non-conformity was created where a lawful public taking has occurred.

7.3 Intent Concerning Non-conformities. It is the intent of this section to require the cessation of non-conformities and permit such structures to continue until such time they are removed or corrected but specifically not to encourage their survival. It is also intended that non-conformities with regards to these guidelines not be used as grounds for enlarging by means of extension or expansion except as specified in this section.

7.4 Expansion of Non-conformities. Non-conforming structures may be expanded by means that are consistent with the Manasota Key Design Guidelines and concur with the following standards.

A. In no circumstances shall structures, buildings or site configurations be expanded to become more non-conformity than they may otherwise exist.

B. Reconstruction, repair, or enhancement of an existing non-conforming structure shall adhere to the entirety of these guidelines if said improvement exceeds fifty percent of the replacement cost of the structure. Incremental improvement values will be aggregated over a five year period in determining this standard.

C. All new portions of an existing building or developed site shall adhere to the Manasota Key Design Guidelines.



DESIGN GUIDELINES

Section 8. Design Guidelines. Design guidelines shall be applied to all development as expressed in this section. These design guidelines generally address the following aspects of development: building facades, building height, building roofs, accessory structures, fences, lighting, site arrangement, mobile home structures, and non-residential structures. Mobile home structures shall be exempt from these guidelines except for regulations specifically stated to apply thereto.





BUILDING FAÇADE - Materials

Section 8.1. Building Facades. Building facades shall be construction, maintained, and improved according to the following:

Section 8.1.A Building Materials. Facades shall be improved and constructed with one or a combination of the following materials: masonry, stucco, and wood. These standards shall not apply to doors, windows, or trim. Specific accent materials shall be allowed pursuant to these guidelines.

1. Masonry. A masonry finish may be allowed on any façade; however, unfinished and exposed concrete block shall be prohibited.

2. Stucco. A stucco finish may be allowed on any façade.

3. Wood. A wooden finish may be allowed on any façade pursuant the following additional standards:

(a) Wooden panels and board shall be installed in either a flush horizontal or vertical pattern. Slanted wood patterns shall be specifically prohibited.

(b) Wood may be installed as board-and-batten siding with either 1" X 2" or 1" X 3" battens.

4. Vinyl / Hardi-plank. Vinyl siding, or similar materials may be permitted provided that the pattern resembles wooden panels.

5. Accent Materials. Rock and tile may be used as accent materials on building façades. In general, accent materials should be limited to twenty percent of the building façade. Faux finishes to resemble natural rock shall be allowed.

6. Prohibited Materials. The following materials shall be specifically prohibited for all building façades: metal and reflective surfaces.

7. Mobile Homes. Mobile home dwellings shall retain the façade materials as originally installed by the home's manufacturer.

A

B

C

D

Appropriate façade materials include:

- A. Brick
- B. Wood / shake
- C. Vinyl / Hardi-plank
- D. Stucco & stone



BUILDING FAÇADE - Materials

A



C



B



A variety of façade materials are appropriate for Manasota Key buildings and specifically include:

- A. Horizontal siding.*
- B. Stucco exterior with wood or cast stone accent columns.*
- C. Vertical wooden siding and accent elements.*



BUILDING FAÇADE - Windows

8.1.B. Windows. Windows shall be placed on all facades or new additions thereof. Windows shall be installed and consistent with the following standards.

1. Windows shall encompass a minimum of thirty percent of the total building façade. In situations where an addition is added to a portion of an existing façade, only new portions shall be applicable to this standard.

2. Windows on the front façade shall be a minimum of seven square feet in area. Accent windows above or around doorways and other windows shall be exempt from this standard.

3. Window tinting shall not resemble a mirror or other highly reflective surface.

4. Windows should not exceed seventy-five percent of the building façade area in which they are located.

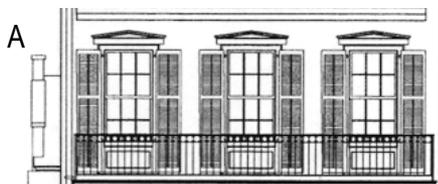
5. A single window panel should not exceed 40 square feet, unless consistent with a clearly defined architect style.



C

Windows should be placed on all building facades and exterior walls to create architectural interest. At a minimum windows should be designed considering the following:

- A. A defined pattern or placement.*
- B. Architectural details that complement the structure in which they are attached.*
- C. A balanced percentage of the façade area.*





BUILDING FAÇADE - Walls, Entrances, and Garage Doors

8.1.C. Walls. Exterior building walls shall be designed not to appear as continuous planes with no architectural relief. All exterior building walls shall include a window or other form of architectural relief for every 600 square feet of wall area.

8.1.D. Building Entrances. All buildings should have a clearly defined building entrance.

8.1.E. Garage Doors. Garage door shall be installed pursuant to the following design standards.

1. A non-opaque garage door shall be installed on all covered parking areas that are enclosed with walls on three sides.

2. Garage doors shall be permitted windows along the top portions thereof provided such windows do not exceed twenty percent of the door surface.

3. Garage doors for single-family residential should have a maximum of a two car garage width facing the street.

4. Garages are preferred to be flush or recessed back from the front façade so as not to dominate the architectural design and appearance.

5. Screens shall be prohibited over any garage door opening.

6. Garage door opening heights shall be limited to eight feet.

A. Garage doors should be designed to be integrated into the structure's architecture but not dominate the façade.





BUILDING FAÇADE - Trim

8.1.F. Trim. Trim shall be required around all wall openings including but not limited to windows, doors, balconies, and alcoves, except as noted below. Trim shall be installed pursuant to the following additional standards.

1. Trim shall resemble wood, masonry, stone, stucco or tile. Metal and reflective material shall be prohibited.
2. Trim shall be a minimum of three inches in width as installed on the building façade.
3. Trim requirements shall be waived if the Design Review Board determines the building type to be a clearly defined architectural style whereas trim would not be appropriate.

INSERT TRIM
PHOTOGRAPH

INSERT TRIM
DETAIL





Roofs

8.2. Roofs. Roofs shall be construction, maintained and repaired consistent with the following guidelines.

8.2.A. Materials. Roof materials shall conform the following standards:

1. For building additions, roofs shall be complementary to materials found on the majority of the roof area of the principle structure. In the event a new roofing material is used on an existing building's addition, the entire structure shall project a complementary style.

2. Roofs shall be predominately opaque in appearance. Glass surfaces such as skylights should be limited to thirty percent of the roof area.

3. Roof materials shall resemble metal, tin, wooden shingle, "dimensional" asphalt shingle, barrel tile, concrete tile, or slate.

4. Flat roofs shall be exempt from all preceding roof material standards and restrictions, provided a parapet or mansard wall is utilized to screen the roofing seams.

5. Solar panels shall be installed to be at the same angle of incline as the roof pitch. It is preferred that solar panels be provided on portions of the roof that are not readily seen from abutting roadways.

8.2.B. Shape. Generally, roof shape shall conform to the following standards:

1. Typical A-frame style roofs designs shall not be permitted.

2. Generally, roofs shall not be designed as a half circle or curved radius.

INSERT
STRUCTURE
WITH
MULTIPLE
ROOF
MATERIALS

INSERT
ROOF
STYLE





Architectural Accents and Features

8.3. Architectural Accents and Features. Architectural accents and features placed upon buildings shall conform to the following standards. Items and features not expressly regulated in this section shall be exempt from guidelines, however, items that closely relate or resemble other items herein shall be subject to applicable standards.

8.3.A. Chimneys. Chimneys shall be constructed within the height limitation of Manasota Key Design Guidelines. Chimney building materials may differ from the principal structure. Chimneys shall not emit smoke directly onto neighboring properties.

8.3.B. Antenna Structures. RESERVED

8.3.C. Porches. Porches should be included on the front façade of all new buildings and constructed consistent with the following:

1. Porches should generally provide six feet of depth.
2. Porches should include columns or other support features that complement the architectural style of the structure in which they are attached.



B



A

Porches should be encouraged on the front façade of all buildings in order to project a welcoming feeling.

A & B. The porch should complement the architectural style of the structure in which it is attached.



Architectural Accents and Features

8.3.D. Balconies and porches. Balconies shall be constructed only in conformance with the following standards:

1. Balconies shall be prohibited from encroaching on the side yard setback.
2. Balconies can encroach into front and rear yard setbacks a maximum of six feet.
3. Only cantilevered balconies are allowed in the front yard.
4. Balconies should complement the architectural style of the structure in which they are attached.





Architectural Accents and Features

8.3.E. Shutters. Shutters shall be proportional to structure's windows. Each shutter shall be a maximum width of one half of the window width in which they are adjacent. Faux shutters not adjacent to windows shall be permitted; provided their width does not exceed six feet.

8.3.F. Wall Art. Wall art is permitted upon exterior walls but strongly discouraged from the front building façade. Generally, wall art visual from public streets should reflect the Manasota Key character or coastal setting.

8.3.G. Stairs. Outside staircases shall be constructed and replaced consistent with the following standards:

1. Stairs shall not encroach or cantilever into any structural building setback or recorded access easement.
2. Stairs shall not extend forward of the front building façade in excess of ten feet.
3. Stairs shall be integrated into the architectural style of the principle structure in which they are attached. Specifically, stairs should include the same colors, accents, materials and details found on the principle structure.

INSERT
STAIRS
SKETCH

INSERT STUTTER
PROPORTIONS
SKETCH





Architectural Accents and Features

8.3.H. Gutters. Gutters shall resemble and/or match the building trim or primary façade. Gutters shall not force water onto neighboring properties or directly upon driveways or sidewalks.

8.3.I. Awnings. Non-residential – Awnings, where allowed by Zoning Ordinance, shall be limited in width to the front display window only.

8.3.J. Lattice. Lattice used on buildings and specifically to conceal structural areas shall be of the same pattern and appearance through the outside of the structure in which it is attached. Lattice shall be permanently secured to the structure in which it rests. All shall be vinyl, or painted.

8.3.K. Widow's Walks. Widow's Walks shall be permitted atop all structures as long as no structural element exceeds the height limitations of the Manasota Key Design Guidelines.

8.3.L. Address Numbers. All structures shall post address numbers on the front building façade in a location either by the front entrance or garage doors. Numbers shall be legible from the adjacent roadway so they are visible by motorists and pedestrians.



INSERT
WIDOW'S
WALK

INSERT
HOUSE
NUMBERS





Lighting

8.4. Lighting. Lighting fixtures, structures and elements shall be constructed, installed, maintained and replaced consistent with the following standards.

8.4.A. Fixtures. All lighting fixtures shall be installed to orient light downward and to provide glare reduction optics and shielding features. No fixture shall direct light upward or onto adjacent property. Exemptions shall include small landscaping accent lights that are directed upward to softly illuminate trees and palms.

8.4.B. Light Posts. Light posts shall be installed consistent with the following standards:

1. Light posts shall be construction and installed to resemble wood, polished concrete or metal. Unfinished and unpainted metal and concrete surfaces shall be prohibited. This standard shall be applied to all light posts on Manasota Key including but not limited to those used within the public rights-of-way and along private streets.

2. Light posts upon residential properties shall not exceed 16 feet in height.

3. Light posts for public parks, right-of-way and roadways shall be of a standard style and theme.



Lighting, including fixtures and post, shall complement the general character of Manasota Key.

A, B. Fixtures should orient light downward to ensure the night sky is left darkened.



B



Fencing and Walls

8.5 Fences and Walls. Yard fences and walls shall be constructed, installed, maintained and repaired consistent with the following standards:

8.5.A. Existing Fences. Existing fences may be repaired using the existing style, materials and form as previously installed upon a given property in the following circumstances:

1. Repair of individual fence panels when such panels do not exceed twenty percent of the linear feet of the property's total fencing.
2. Replacement of any single post to which a fencing panel is attached.

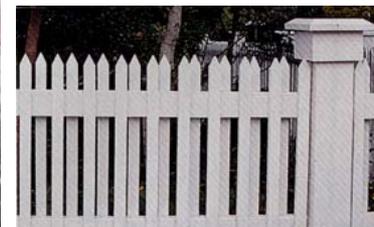
8.5.B. Materials. Fences and walls shall be installed, maintained and constructed with materials that resemble wood, wrought iron and/or masonry. Unfinished concrete block and chain link shall be prohibited. Wood fences and walls, if not painted, shall be pressure treated to prevent deterioration and rot.



A



C



B

*A. & B. Fencing should be constructed to resemble natural materials. Fences should also include architectural interest throughout the key.
C. Fencing should incorporate landscaping to provide design interest.*



Fencing and Walls

8.5.C. Height. Fence and wall height shall be regulated pursuant to the following standards.

1. Fences and walls shall not exceed six feet unless otherwise required as part of a project's approval or original permit.
2. Fences and walls shall not exceed four feet for portions placed forward of the front building façade.
3. For properties that abut a public beach or waterbody, fences and walls shall not exceed four feet for portions of the property that are within ten feet of said beach or waterbody.



A

A. Fencing should be limited to four feet when forward of the front building façade.





Accessory Structures – Sheds, Gazebos and Cabanas

8.6. Accessory Structures. Accessory structures shall be installed, constructed, maintained, and repaired consistent with the following standards.

8.6.A. Sheds, Gazebos, Cabanas and Animal Houses. Said structures shall adhere to the following standards.

1. Sheds, gazebos, cabanas and animal houses shall not be installed forward of the front building façade.
2. Roof materials shall resemble or be complementary to the materials used on the any existing principle structure on the same property. Where multiple structures are present, the property owner may choose a material used on one of the structures.
3. Structures should be limited to 15 feet in height.





Accessory Structures – Swimming Pools

8.6.B. Swimming Pools and Spas. Swimming pools, spas and other water features intended for active human enjoyment shall be installed and constructed consistent with the following standards.

1. Swimming Pools, Spas and associated decks shall be considered structures and will be included within the building setbacks.

2. Structures shall be permitted one vertical accessory including, but not limited to slides and diving boards. Said accessories shall not exceed eight feet in height.

3. Swimming pools shall be permanently installed in the ground or within a masonry foundation. Metal above-ground swimming pools shall be specifically prohibited.



INSERT POOL
PLACEMENT
SKETCH





Accessory Structures – Air Conditioning and Waste Receptacles

8.6.C. Air Conditioning and Heating Units. Air conditioning and heating units shall be installed consistent with the following standards.

1. Units shall not be installed outside the building setbacks. Window units shall not be installed on the front façade.
2. Units shall be screened from off-site view. Window units shall be except from this standard.

8.6.D. Waste Receptacles. Waste receptacles shall be installed, constructed, maintained and repaired consistent with the following standards.

1. Individual trash cans shall not be stored forward of the front building façade. Trash can storage areas shall be completely screened from off-site view. This standard shall not apply to dumpsters.
2. Dumpsters in residentially zoned areas shall be stored and screened within an enclosed area. Community dumpsters shall meet existing County requirements.

(a) Dumpster enclosures are not required to contain a roof.

(b) Dumpster enclosures shall not be installed forward of the front building façade.

(c) Existing dumpsters and enclosures shall conform to this section and its standards in the following circumstances or a combination thereof: (1) when the dumpster is replaced with a larger unit, (2) when the principle structure in which it is intended is improved beyond fifty percent of the assessed value, or (3) when the dumpster enclosure is over fifty percent damaged.

INSERT
BUFFERED
A/C UNIT





Accessory Structures – Play Equipment and Carports

8.6.E. Play Equipment. Play equipment, slides, swings and other similar structures shall conform to the following standards. These standards shall apply to items permanently anchored to the ground and those that are temporary or mobile.

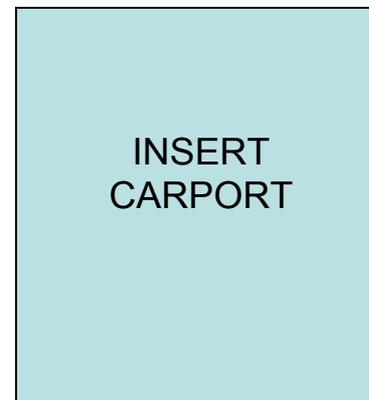
1. Items and structures shall not be located forward of the front building façade or beyond side yard setbacks. For residential properties that have frontage on multiple roadways, such structures shall be allowed forward of one of the facades as chosen by the property owner. Multiple person bench-style swings shall be except from this standard.

2. Public parks shall be exempt from these standards.

8.6.F. Carports. Carports and other covered parking areas shall be installed, constructed, and repaired consistent with the following design guidelines. Garages shall be specifically exempt from these standards.

1. Temporary carports and structures not securely anchored to the ground shall be prohibited on any property within Manasota Key.

2. No carport or covered parking roof structure shall encroach or cantilever into a structural setback or any recorded access easement.





Accessory Structures – Garden Features

8.6.G. Garden Features. Garden features such as arbors, trellises, sculptures, fountains, bird baths and the like shall be allowed within any property on Manasota Key. Such garden features shall be installed, constructed, maintained and repaired pursuant to the following guidelines.

1. Structural elements such as arbors, trellises and like features shall be securely anchored to meet required building codes.

2. Garden elements may be permitted forward the front building façade with the following stipulations. Arbors, trellises and like features shall not exceed 15 square feet of footprint area. Sculptures and fountains shall not exceed four feet in height.

3. Garden features may be allowed within structural setbacks and specifically incorporated into buffers and landscaping areas.



INSERT
TRELLIS



Accessory Structures – Vending Machines and Media Racks

8.6.H. Vending Machines, Sales Booths, Media Racks and Other Merchandise Displays. Vending machines, sales booths and other like items intended for merchandise sales and display shall be installed, constructed and replaced consistent with the following standards.

1. Vending machines for beverages, food and tobacco products shall be placed in kiosks or other enclosures. Such machines shall not be placed along front primary building facades even if proposed under arcades or canopies. Such machines are prohibited on the exterior of any structure within residential zoning districts.

2. Washing machines, dryers, and stand-alone refrigeration units shall be prohibited outside of an enclosed structure and visible from any public right-of-way.

3. Media racks for newspapers, magazines and other printed publications may be placed on the exterior of buildings in the standardize Manasota Key media racks.

4. Automatic teller machines and other currency dispensing devices shall only be permitted on the exterior of a structure when affixed to the primary building's exterior wall. Stand alone models shall be prohibited on any building's exterior.

INSERT
STANDARDIZE
MEDIA RACK
DESIGN

INSERT
VENDING
MACHINES
UNDER
AWNING



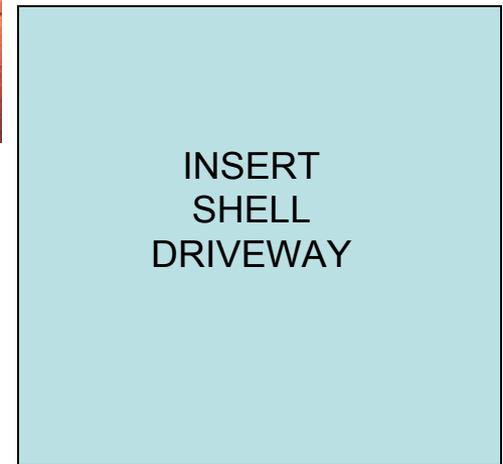


Site Design – Driveways

8.7. Site Design. Sites and building placements shall be arranged consistent with the following guidelines.

8.7.A. Driveways. Driveways for use shall be maintained, repaired, constructed and installed consistent with the following guidelines.

1. New driveways shall be constructed to ensure that no portion of a parked vehicle over hangs into the public right-of-way or over any sidewalk intended for public use.
2. New driveways and any existing driveway that requires repair in excess of fifty percent of its original area shall be constructed to resemble one or a combination of the following materials: brick, pavers, rock, pebbles, crushed shell, or gravel. Porous concrete or asphalt shall only be permitted when treated to resemble one or more of the preceding materials.
3. No driveway shall exceed 24 feet of width at the portions where it connects to a roadway. Additional width may be permitted only to accommodate required turning lanes.





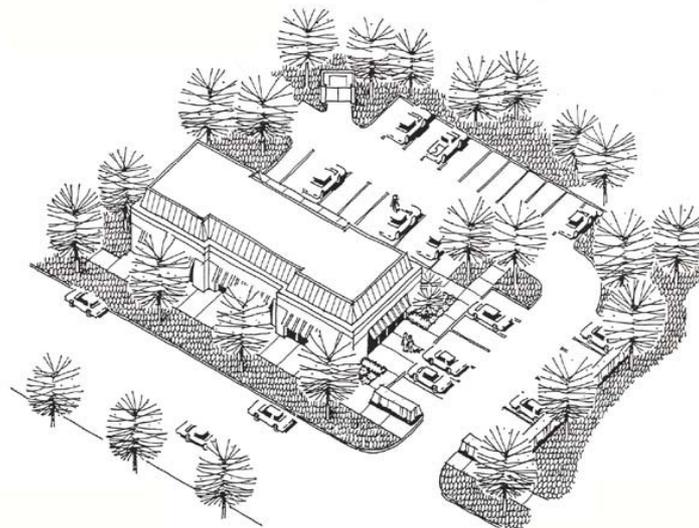
Site Design – Parking

8.7.B. Parking. Parking areas for new structures or such existing structures that are improved in exceed of fifty percent of their assessed structural value shall be improved, expanded, constructed, maintained and repaired consistent with the following guidelines.

1. Parking areas for non-residential structures shall not create situations where vehicles back directly onto paved public roadways.

2. Parking areas for non-residential shall include structures, low fencing or landscaping to buffer vehicles from off-site view from adjacent rights-of-way.

3. Parking areas located forward of the front building façade shall be limited to a single travel aisle with one row of parking spaces on either side.





Site Design – Building Placement and Orientation

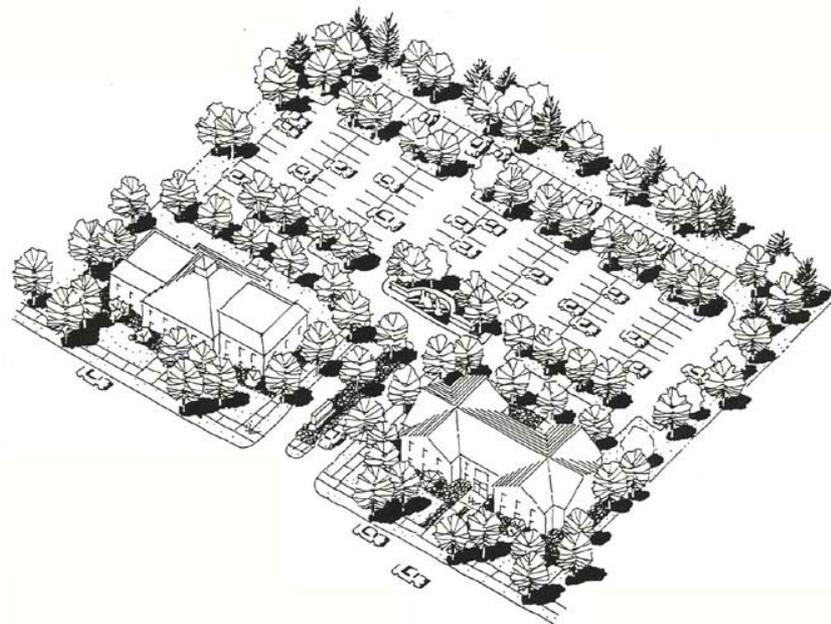
8.7.D. Building Placement and Orientation – Non-residential. Non-residential structures and such existing structures that involve repair or reconstruction in excess of fifty percent of the structural assessed value shall conform to the guidelines of this subsection. New building additions for said structures shall adhere to these standards in all cases.

1. Primary building entrances shall be oriented to adjacent roadways. Building entrances shall be framed with a porch, portico, arbor, or other similar covered architectural element to enhance the building's entrance to pedestrians.

2. Principle buildings shall include a pedestrian pathway leading from its entrance to the adjacent roadway. Such pathways shall be dedicated, marked and paved. Such pathways shall not require pedestrians to traverse parking areas. Pathways shall provide a minimum of five feet of width for pedestrian movement.

3. Principle buildings shall include a pedestrian pathway along its front façade linking the site to adjacent non-residential properties. Such pathways shall be dedicated, marked and paved. Pathways shall provide a minimum of five feet of width for pedestrian movement.

4. Generally, twenty-five percent of the front building façade length should be sited and oriented in a manner that places no vehicle use area between the adjacent roadway and its exterior wall. On-street parallel parking shall be considered consistent with this standard.

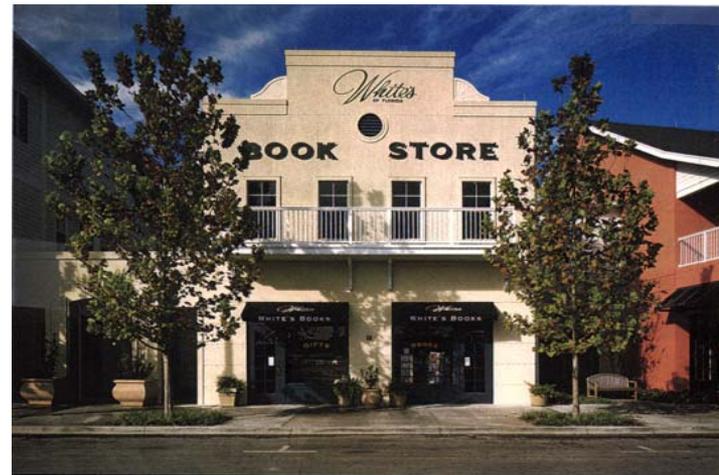




Site Design – Building Placement and Orientation

5. Generally, buildings should extend to occupy the majority of the parcel width in which they are located.

6. Loading docks and semi-truck/delivery vehicle parking areas shall be located to the rear or side of buildings. In no circumstances shall such elements be placed between the front building façade and a roadway.





Site Design – Drive-thru Facilities

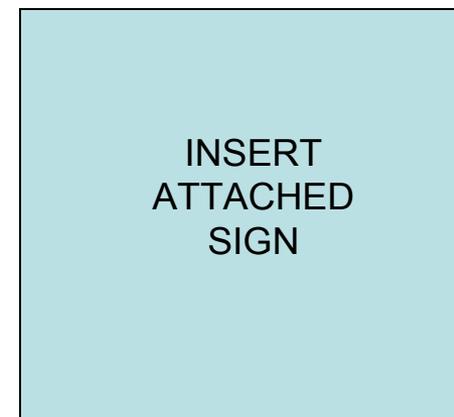
8.7.E. Drive-thru Facilities. Drive-thru facilities shall be prohibited.



Signage

8.8. Signage – Signage on Manasota Key shall be subject to the provisions and standards of the Charlotte County Zoning Code and the Charlotte Harbor CRA guidelines. In addition to such zoning standards, signs on the Key shall be installed, repaired and constructed consistent with the following additional guidelines:

1. All signage upon a parcel should project a similar design theme and shall incorporate design elements generally portrayed on buildings located the same property.
2. Freestanding signage should be designed as monument or other low-lying structure type.
3. Freestanding signage should not extend above the highest building on the parcel in which the sign is located.
4. Attached signage should not extend higher than the building in which it is attached.





Definitions

Section 9. Definitions. Terms specific and unique to the Manasota Key Design Guidelines are defined in Appendix "A" of this document. The term and definitions are specific to and only to the ideas, standards and requirements of these design guidelines. In the event terms and definitions conflict with the Charlotte County Zoning Ordinance, such terms and definitions herein shall prevail. Terms and definitions that appear vague shall be clarified by a written letter of interpretation from the Planning Director. In all cases, definitions shall be read and interpreted to benefit the property owner.





Appendix A

COLUMN: A vertical support generally consisting of a base, circular shaft and capital.

FACADE: The front or principal face of a building.

GABLE: The triangular portion of a wall between the enclosing lines of a sloping roof.

HIP ROOF: A roof with four uniformly pitched sides.

LATTICE: A structure consisting of strips of metal or wood, crossed or interlaced to form regularly spaced openings.

PARAPET: A low solid protective wall or railing along the edge of a roof or balcony.

PORCH: A covered structure or recessed space at the entrance of a building.

PORTICO: A major porch, with a permanent roof supported by columns.

STUCCO: A type of plasterwork, either coarse or fine, used for surfacing interior or exterior walls.

