

**HISTORICAL ASSESSMENT & FEASIBILITY STUDY OF  
THE OLD CHARLOTTE COUNTY STOCKADE  
FOR  
CHARLOTTE COUNTY**



**BY  
FERRELL SANFORD STUDIO INC  
ANCHOR ENGINEERING CONSULTANTS INC  
HISTORICAL & ARCHITECTURAL RESEARCH SERVICES  
NOVEMBER 2008**

**I. HISTORY OF THE OLD STOCKADE**

**THE  
OLD CHARLOTTE COUNTY STOCKADE  
CULTURAL & HISTORIC ASSESSMENT SURVEY AND EVALUATION  
May, 2006  
Amended April, 2008**

Prepared for Ferrell Sanford Studio Inc  
and Charlotte County Parks and Recreation by:

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## **Project Location**

The OLD CHARLOTTE COUNTY STOCKADE is a one-story Masonry Vernacular style institutional structure completed in 1941. It is located at 6905 Florida Street in an unincorporated area of Charlotte County, Florida approximately 2 miles from the downtown core of Punta Gorda, Florida, the nearest incorporated city. It is near the intersection of Florida and Henry Streets within the boundaries of Carmalita Athletic Park, a public recreational site owned by Charlotte County. The park is on the west side of Florida Street and a short distance from I75.

Carmalita Athletic Park is the site of many softball games, equestrian tournaments and Little League and Pop Warner events. A variety of amenities at the site include baseball fields, picnic shelters, a playground area, softball and football fields, a BMX course, a skate park, and a horse arena. The horse arena is immediately adjacent to the subject structure.

## **Project Description and Purpose of the Project**

This project involved an initial telephone conference and later personal consultation with Bob Sanford of Ferrell Sanford Studio, Inc. Sanford's architectural firm is presently under contract with Charlotte County to develop a feasibility study and preliminary drawings for the potential rehabilitation and adaptive reuse of the Old Charlotte County Stockade for the potential use as an administrative center for a horseback riding club that utilizes the Carmalita Athletic Park horse arena.

This project also required that the structure be photographed and historically documented as thoroughly as possible utilizing all historic records available resulting from a diligent search. Additionally, the project involved evaluating the eligibility of the structure and site itself for listing in the National Register of Historic Places.

The scope of work called for the preparation of a Florida Master Site File Form. A conclusion as to the historic significance of the structure and an opinion as to the potential for historic preservation grant funding for the rehabilitation of the structure was also requested. Additionally, recommendations towards the appropriate rehabilitation of the structure for the purpose of utilizing the structure for a new use in the event that funding to do so is secured was deemed appropriate by the consultant and included in the scope of work of this project.

## **Past Field Surveys**

Only a few select residential structures have been surveyed in the unincorporated areas of Charlotte County. It would be advisable to undertake a complete survey in the near future utilizing available matching funds from the Florida State Division of Historical Resources. The majority of other areas of the state have already been surveyed. A comprehensive historic building survey is considered the foundation and is essential for all historic preservation planning.

## **Project Methods**

Several telephone conferences and one personal meeting took place with Linda Coleman, Charlotte County Historical Division Manager. A check with the Florida Division of Historic Resources Master Site File Office for a previously completed Florida Master Site

File Form, as required by that office, was made prior to initiating the completion of a site file form for the site. No previous form was found and a site file number was dispensed to the consultant and the form completed with the original to be provided to the Site File Office and copies to the client, Charlotte County Parks and Recreation.

Work on this project included a site visit to view and inspect the property. Photographs were taken for the purpose of completion of a Florida Master Site File Form and for reference in preparation of this evaluation and report.

Initial information provided to the consultant referred to the building as the Old Charlotte County Jail or Carmalita Jail with a 1920s construction date. This was not correct. The structure was actually the old county stockade and not constructed until 1941.

Research on the ownership of the property and its history was undertaken utilizing a variety of publications on the history of the area, Charlotte County public records including: Property Appraiser records, Charlotte County Deeds of Record, and archival copies of the Charlotte County Sun Herald (exhaustive and generally futile). These efforts proved very frustrating since no written historic records regarding the construction and use of the building as the Charlotte County Stockade appear to exist or have survived beyond a copy of the original architectural drawings (see reference to such below) Subsequently, other extensive research efforts were then made in order to any living persons that might have knowledge of the history of the structure and any records that might remain in possession of the Charlotte County Sheriff's Office or persons with relevant knowledge within that department. A number of phone calls to that office were made in an attempt to secure information on the history of the building and department were made. These included conversations with various office staff as well as several ranking police officers. None were able to assist in providing any information nor has any history of the department been written. Surprisingly, the consultant was repeatedly advised that no historical records regarding the history of the department existed. Subsequently, an internet search was undertaken in an attempt to find historical information on the Charlotte County Sheriff's Department and area law enforcement. The only information that could be located was the names of all of the past Charlotte County Sheriffs.

A search to find the oldest living past Charlotte County Sheriff was undertaken. It appears that no past sheriff that resided in Charlotte County prior to or during the 1940 or 1950s is living. However, Tosi Quednau Heinman was located. Her father, Arthur F. "Fred" Quednau (1892-1968), served as sheriff from 1941-1957. Mrs. Heinman was born and raised in Charlotte County and continues to reside in Punta Gorda. Heinman was the first person to provide any historical information on the structure and to identify the building not as an early Charlotte County jail but as the old stockade. She also provided the name and telephone number of, Edgar Watson (b.1932), whose father, George Watson (1898-1963), was a former Charlotte County Road Superintendent who was also responsible for overseeing the stockade for several years during the time it was used as such. Historic recollections of both Mrs. Heinman and Mr. Watson are provided later within this evaluation report.

#### **Site**

The subject site is relatively free of any mature trees or vegetation. No other historic structures stand on the site or are located in the general vicinity.

## **Architectural Description**

The historic Old Charlotte County Stockade is best described as a simple Masonry Vernacular style commercial structure. The building is situated facing east. It has an irregular rectangle shaped plan. Construction is of stuccoed concrete block. The entire structure rests on a poured concrete foundation and is covered by a side-facing gable roof, presently surfaced with tar paper. Exposed rafter tails extend beyond the exterior walls. A brick chimney is centered at the roof peak.

The building consists of two building blocks. The larger block is original, whereas, the smaller block appears to be an addition. The original block has a somewhat symmetrical plan with near mirrored primary and rear elevations. The E elevation appears to be the primary façade.

Presently, all of the original window openings are sealed with plywood from the inside. The original steel security bars on the windows remain in place over the window openings on the exterior. Although all the original independently placed window openings, each placed independently, and the size of those openings have been maintained, only one original window has survived. All of the other original windows have been removed. The single surviving original window is a large independent multi-light wood casement unit, hinged at the top for opening, most likely for security purposes.

From a physical evaluation of building materials and its simple style, what appears to be a rectangular shaped addition is on the south. The simplistic styling of the addition renders it difficult to date but it appears to date from sometime during the 1960s. A check with Charlotte County Parks and Recreation as to the time of construction did not result in being able to more accurately date the addition. The addition is constructed of concrete block resting on a poured concrete foundation and covered by a side facing gable roof. The roof is of a lower pitch than the roof covering the original block. A garage entry door is on the south end of the addition.

## **Cultural and Historic Context**

Following the Civil War the entire land area of what would become Charlotte County still remained virtually unsettled and part of Manatee County with the county seat in Pine Level. The Peace River and Charlotte Harbor played a vital role in the survival of the earliest settlers for the delivery of necessary goods as well as a means to transport cattle and fish which were their main livelihood. Thus, many settled on or near the banks of the river.

In 1866, in the only established town in the area, Trabue, (today's Punta Gorda), a saw mill was established, the only one south of Tampa. Frederick Howard first settled in today's Solana (east of today's Punta Gorda) in 1873. The first known settlers to permanently occupy what was to become Punta Gorda, James and Josephine Lockhart, arrived in 1876.

The Florida Southern Railway reached Trabue in 1886. A newspaper was established for the town and a community hall built in 1887. A major fire in 1902 caused great loss in the business section of Punta Gorda.<sup>1</sup> Settlers continued to slowly arrive in the area.

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<sup>1</sup> Ibid, p. 333.

The 1910s brought more growth; the Methodist Church built its second house of worship that year in Punta Gorda,<sup>2</sup> its first being the town's community hall.<sup>3</sup> Punta Gorda nor the Charlotte Harbor area would fail to see any substantial growth until the advent of the Florida Land Boom beginning in c.1923. Charlotte County was established as an independent county in 1921. The 1920s brought many tourists and new residents to Florida and land prices escalated. An unparalleled growth in population and construction took place.

With the advent of the Florida Real Estate Boom, the majority of new construction in Charlotte County took place within and near the historic central business district of Punta Gorda. The town was positively impacted by development. Many new homes and commercial buildings were completed, yet, rural areas, for the most part, changed little with large tracts of land, first purchased by founding and pioneer families remaining in the hands of descendants. Sadly, the Florida Land Boom spanned only a few years from c.1923-c.1926 and the stock market crash in the fall of 1929 signaled there would be no swift recovery. Many who had recently come to the area suffered financial losses and local banks and residents also felt the impact of the Depression years of the 1930s. Those involved in more urban businesses were most affected. Rural residents were in a better financial position as they were more self-sustaining having their crops and livestock to feed their families or to use in trade for other goods or services.

During the Depression, the lack of cash affected everyone. The City of Punta Gorda and Charlotte County lacked the funds to even pay employees. Barter became common. Local government paid employees in "grocery orders", a form of script. The grocer would give the script back to the city and county government as payment of their property taxes.<sup>4</sup> Virtually the only way to obtain cash was to ship out local products such as citrus. Charlotte County would not experience any real substantial growth again until after World War II and that would never equal what it saw in the 1920s.

#### Charlotte County Law Enforcement History

Very little has been written about the history of law enforcement in Charlotte County. One rare source providing some information is Angie Larkin's book, In Old Punta Gorda wherein she writes that law enforcement came slowly to Punta Gorda. The original surveyor of Punta Gorda described the town as "overrun with bums, riffraff, gamblers, toughs and adventurers".<sup>5</sup> Considering the rural nature of the area at that time, this is not surprising. The first known jail was a boxcar which was usually full.<sup>6</sup> In 1866, there were 5 murders, which was at a time that the entire local population was relatively small.<sup>7</sup>

One of the primary crime issues in the early days were the rum runners during Prohibition. Along with gangs, wild cowboys and fishermen, they worked hard and drank hard on Saturday nights. Street fights followed. To address the problem, a portable cage

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<sup>2</sup> Ibid., pp. 85 and 231..

<sup>3</sup> Ibid., pp. 60, 50-51, 66, 192, and 230.

<sup>4</sup> Rhode, Bryron L., Punta Gorda Remembered, U.S. Cleveland, 1988, p. 118.

<sup>5</sup> Larkin, Angie, In Old Punta Gorda, Old Punta Gorda, Inc., Punta Gorda, FL, 2001, p. 113.

<sup>6</sup> Ibid.

<sup>7</sup> Ibid.

with steel bars was placed on Olympia Avenue and put in use. The open bars allowed townspeople to jeer and stare at those inside.<sup>8</sup>

Once Charlotte County was created in 1921, local governing bodies and county law enforcement were created and took effect. The first county sheriff was J.H. Lipscomb, who served for 20 years, beginning in 1921. He had no police cars and funds were not available for uniforms. In the 1920s, Ira Atkinson worked as a policeman and deputy to the Sheriff Lipscomb. Atkinson also served as a truant officer.

The Roaring 20s brought a new breed of criminals to the area. When the new Charlotte County Courthouse was completed in 1928, part of the second floor was taken up by the jail. There were 2 cell blocks with 4 bunks and 2 or 3 other cells. A corridor ran down the center. The cell and jail doors were controlled by levers in the hallway.

In 1941, Arthur F. "Fred" Quednau (1892-1963) was elected sheriff. He was also a one time mayor of Punta Gorda. County funding still did not provide money for uniforms or police cars. Quednau and his officers used their own vehicles and wore street clothes.<sup>9</sup>

Although it can only be assumed that, by 1941, when Quednau took office, the jail in the courthouse was no longer large enough to accommodate a growing jail population. Shortly after elected, it appears that Quednau moved forward to acquire expanded space for prisoners in the form of a stockade to house prisoners with longer sentences than those perhaps still housed in the small courthouse jail and to accommodate for overcrowding in the main jail. Plans for a new stockade were completed in April, 1941 by a local architect, Max Charles Price.<sup>10</sup>

Little information could be found on the building's architect. It is known that he was born in on February 12, 1875, most likely in Pennsylvania where his parents lived. They came to Charlotte County with their son. Benjamin Price died in 1922 and Mary D. Price died in May, 1946. Max Charles Price died on April 24, 1948. All three are buried at Indian Springs Cemetery. A Mary Jackson Price, possibly the wife of Max Charles Price, died in May, 1946. She is also buried at Indian Springs.<sup>11</sup>

Lindsay Williams book, Our Fascinating Past, Charlotte Harbor: Early Years, mentions that Max Price was the first organizer and first secretary of the local Chamber of Commerce in 1921, first identified as the commercial club. Price was also involved when it became necessary to boost the organization in 1926. Williams' book also describes Price as a noted architect who came to the area from Philadelphia in 1918 for his father's health.<sup>12</sup> Research regarding his work reveals that both he and his father were the architects of the First Christian Church Building in Howard County, Arkansas, indicating his father was also an architect.

Edgar Watson (b.1932) the son of George Watson (1898-1963), a former Charlotte County Road Superintendent, spent approximately three years of his childhood, from c.1943 until 1947 or 1948, living in a house across the street from the stockade. The younger Watson stated that his mother did the cooking for the detainees held. George

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<sup>8</sup> Ibid.

<sup>9</sup> Ibid., p. 115.

<sup>10</sup> Original architectural drawings in storage at Charlotte County Central Records.

<sup>11</sup> Charlotte County Genealogy Society Cemetery Records.

<sup>12</sup> Pgs. 386 & 387.

Watson used the prisoners in the construction and maintenance of local roads and bridges. This practice was continued until about 1947 at which time prisoners were no longer used in local road projects.<sup>13</sup>

In 1957, Travis Parnell was elected Sheriff and it was at this time, that the department was upgraded with their own vehicles and uniforms were provided to its officers.<sup>14</sup> Parnell's wife served as the matron at the jail, located at the second floor of the courthouse, and occasionally jailer. She handled all of the cooking for "42 or more" prisoners. Maude Parnell is quoted as referring to where she cooked as the "new" jail in Angie Larkin's book, In Old Punta Gorda.<sup>15</sup> Information on what jail she referred to could not be located. According to the current Sheriff, one subsequent jail was constructed in 1971-1972.

### **Ownership History**

The site on which the Old Charlotte County Stockade is located was at one time owned by the Charlotte County Fair Association. A check with the current director of the fair association reveals that county fairs were held in Charlotte County for several years in the 1920s but ceased in 1930 and were not restarted again until 1989 at another site. No additional historic information could be found regarding the history of the fair in its first years and no history of the fair appears to have been written. Additionally, the property was at one time owned by the City of Punta Gorda but was deeded to Charlotte County in 1982.<sup>16</sup>

### **Subsequent Uses**

According to Edgar Watson, who lived across from the stockade as a young teenager with his mother and father, George Watson, Charlotte County Road Superintendent, from 1944 until 1946 or 1947, after the stockade ceased accommodating county inmates, it was placed in use as a nursing home from about 1950 until the late 1950s. He stated that Velma Thompson, a Charlotte County resident "ran" a nursing home in the former stockade. According to Bucky McQueen, a third generation Punta Gorda resident, the Church of the Nazarene operated the nursing home. The 1958 R.L. Polk Punta Gorda City Directory notes Ms. Thompson living on Carmalita. Velma Thompson's nephew, Fred Goff, also believes that Ms. Thompson had some association with the nursing home during approximately those same years.<sup>17</sup>

It is unclear as to when the building was placed in service for storage by its present user, Charlotte County Parks and Recreation. According to the memories of Edgar Watson, the old stockade building was subsequently used as a ceramic studio or such for a few years. Bucky McQueen, a third generation Punta Gorda resident, recalls that the county began using the building to store voting machines in the early 1950s. A telephone inquiry to the Charlotte County Parks and Recreation and the Historical Division to determine when they began utilizing the structure did not result in that information. It is known that Carmalita Park opened in 1982 which may be a reference date for the beginning of the use

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<sup>13</sup> Watson, Edgar, telephone conference with Mikki Hartig on May 23, 2006 and subsequent telephone interview on April 22, 2008.

<sup>14</sup> Larkin, pg. 115.

<sup>15</sup> Larkin, pg. 115

<sup>16</sup> Deed Book 700, Pg. 500, Public Records of Charlotte County, FL.

<sup>17</sup> Goff, Fred, Punta Gorda, Florida, telephone interview with Mikki Hartig on April 28, 2008.

of the building for things associated with the maintenance and operation of the park from that time.

The building was vacant for a period of time after damage by Hurricane Charley. It was placed back in use for storage by Charlotte County Parks, Recreation & Cultural Resources Department, awaiting the findings of this evaluation in regards to its use in the future.

### **Timeline of Use**

1941	Construction Completed
1941-c.1947	Charlotte County Stockade.
c.1950-c.1959	Church of Nazarene nursing home
c.1960-c.1962	Ceramic shop or studio
c.1962-present	Charlotte County Maintenance storage and Charlotte County Parks & Recreation Storage

### **Architectural Evaluation and Recommendations**

The very simple architectural Masonry Vernacular style of the subject structure reflects both the economic times of the Depression era, which continued to be of impact into the early 1940s. The simplicity of the building also would have been the result of budgetary restraints of local government just coming out of a very difficult era. Additionally, the relatively rural location planned as the site of construction was no doubt considered. There was no need for an architecturally detailed or highly stylistic structure. Function and cost were most likely the only real considerations. As a result, the building lacks any significant architectural merit beyond the fact that it remains relatively original in its exterior appearance; however, it does provide an excellent representation of its original use and function through its very simplicity.

In order for a structure to be historically significant, it must be 50 years of age or older and retain its original exterior architectural integrity to a high degree. Interior architectural integrity is of some importance but it is the exterior appearance that is of most consequence. In general, the exterior integrity of the Old Charlotte County Stockade remains in fact, however, the structure is in poor condition. The interior spaces have been considerably altered and the building does not meet current building codes and is not habitable at this time. The original architectural integrity has been compromised with the removal of original windows and the installation of inappropriate non-historic entrance doors. The following rehabilitation work is suggested in order to restore the historic integrity of the structure. The consultant located the original architectural drawings in storage. A copy of the drawings was given to Linda Coleman of the Charlotte County Historical Center who provided an additional copy for reference to the architectural firm that is presently completing a feasibility study. The original set of drawings should be preserved and the copies utilized in all future plans for rehabilitation.

#### **1. Window Restoration**

All but one of the original windows is missing. New windows, matching the single surviving window should be installed in the original window openings behind the original bars on the openings.

2. Interior

The interior of the building is in poor condition and the original floor plan no longer exists. It is not necessary to restore the original plan but it would be suggested that perhaps one original jail cell space be restored to serve as reminder of the original use of the building and to serve some function in the new use. The building requires all new mechanical systems and interior finishes.

3. Entrance doors

The non-historic entrance doors should be removed and replaced with doors matching what originally existed based on the original architectural drawings.

4. Wood Overhang

Based on the period that the building was constructed and remnants of what originally existed, the overhang and rafter tails should be boxed in with wood around the entire perimeter of the building.

5. Roof

The primary roof surfacing material at the time of this report was asphalt shingles. A new 5 V Crimp metal roof, as called for on the original drawings was subsequently installed by Charlotte County as specified by Ferrell Sanford Studio Inc.

6. Pump House

The original pump house remains adjacent to the structure. It should be retained as it is an important secondary structure to the original use of the building. At the time that the building was completed, central water would not have been available in the vicinity and the pump would have been essential to the use of the structure and its occupants. Presently, there is no door to the structure and it remains open to the elements.

7. The mid century addition on the south should be distinguished in some manner to more clearly identify it as an addition.

### **Historic Significance Evaluation**

Although the building is of not great architectural merit, this is not to say that it is not historically significant. Its significance is its link to early law enforcement in Charlotte County. Lacking any considerable public funds, much of the early road and bridge work was undertaken utilizing prisoners housed at the stockade.

### **Local Historic Register and National Register of Historic Places Listing**

Historic significance in American or local history is present in districts, sites, buildings, structures and objects that possess integrity of location, design, setting, materials,

workmanship, feeling, and association. A property should possess most, if not all these qualities, to be a worthy or strong candidate for listing in the National Register of Historic Places. The structure should also be an excellent representation of its style of architecture.

In general, qualification for listing in local historic registers reflects the same criteria for listing although historic significance can often be better recognized on a local basis than perhaps on one based on comparative significance by the Florida National Register Review Board, the State Historic Preservation Office, or the Department of the Interior all of whom take part in determining eligibility of a property. Additionally, local architectural interpretation of architectural integrity may be more lenient although local officials or historic preservation boards should certainly consider and preferably adhere to the same well developed and long standing National Register standards in regards to historic significance and architectural *integrity*.

### **Adaptive Reuse**

The building appears to be structurally sound and could be economically viable in a new use. Current plans call for use of the building as an administrative center for the adjacent riding circle and its users. Although the building is presently not fit for public use and in need of functional mechanical systems, the potential for rehabilitation is good. Rehabilitation and placement in a new use will also provide for the preservation of a unique Charlotte County Historic Resource. However, it is the consultant's opinion that the use of the building could and should be greatly expanded as a facility tied to the entire Carmalita Athletic Park where there is a wider and larger public visitation count in order for it to be more appealing as a grant funding candidate.

### **Conclusions**

The Old Charlotte County Stockade continues to retain its location, setting, workmanship, materials, feeling and association. Only a few exterior changes having taken place since the building's original construction. These include: the loss of original windows, partially missing soffit material, and the replacement of the original doors. Although these changes have been made, the historic integrity of the structure has been minimally compromised and the alterations can be easily addressed and restored with careful and appropriate planning in association with a qualified architect. Once those items are completed, the building would appear to meet adequate criteria for local listing for its architecture and for its historic association with law enforcement. Additionally, the site has local historic significance for its association with the early Charlotte County Fair.

In the event that the property was to be rehabilitated, it would appear to also be eligible for listing in National Register of Historic Places solely on its association with early Charlotte County law enforcement. The structure does not appear to have adequate architectural merit or style to qualify under the criterion for architecture.

### **Potential for Grant Funding and Potential Sources**

Preferential treatment in regards to historic preservation grant funding is based on several factors.

Properties listed in the National Register are often given priority in requests for funding but often of more importance is the local designation of the property by local ordinances that include protection from demolition or inappropriate exterior alterations or new additions. Other factors, such as the intended or planned use of the structure, are also of great merit. The compromised historic features of the structure do need to be addressed and could be included in a request for funding.

Historic preservation grants are also more favorably given to those projects which are linked to projects that result in benefiting the largest number and broadest scope of the general public but particularly to students and minorities. Those linked to public recreation are also of important.

The county has also already expended effort and funds towards this project in the form of this evaluation and in funding and obtaining a feasibility study, both excellent demonstrations of focused and serious efforts to undertake and proceed with the project. Such will be specifically noted where indicated as "Work completed to date" on the grant application.

It is suggested that the county consider expanding the proposed usage of the building to be linked more strongly with the entire recreational park. To solely limit the use of the building by the users of the riding circle or a riding club is much too limited in terms of the number of potential users making it less attractive as a historic preservation grant funding candidate. Broadening the number of potential users of the building would add significance to both the grant application and the project and help to demonstrate community-wide support which is vital to obtaining grant funding.

Finally, the devastation that Charlotte County suffered in the wake of Hurricane Charley and the undoubted resulting budgetary strains placed on local government will likely be well-known by members of the grant review board and play a role in funding consideration. The grant application will directly present an excellent opportunity for board members to lend assistance to Charlotte County's historic preservation efforts in the form of approval of the grant application and in conjunction with a very worthwhile preservation, linked to public recreation.

This project also appears to be a strong candidate for other potential grant funding from the Florida Communities Trust. Funding is awarded on a point basis with that grant program. Applicants and candidates for funding are given extra points for projects associated with public recreation and in regards to inclusion of a historic structure.

### **Final Recommendations**

1. The site should be nominated to the local historic register based on its architecture and association with law enforcement. The author is not knowledgeable enough in regards to the stringency or leniency in regards to the application of qualifying criterion for designation to determine whether the local authority would consider the structure in its present state as historically significant based upon architecture. In the event that it does not, once the above-referenced work items were completed, the site would already be historically designated for its association with the history of local law enforcement and the designation ordinance or applicable document could be amended to include the structure as historically significant as based on its architecture as well and thus made a component of the historic designation.

The potential for listing in the National Register of Historic Places does exist. However, the ability to adequately write and document the structure's full history to adequately within a nomination proposal is questionable considering the lack of any comprehensive history beyond the minimal amount found to be available by this consultant after diligent effort and that is included within this evaluation.

2. Consider henceforth referencing the structure in regards to its proposed use as the Carmelita Park Community Building to relay a much broader use by the community than simply something that will accommodate a much smaller group of users, those utilizing the riding circle.
3. Plan for the preparation and submittal of a Florida State Historic Preservation Grant-in-Aid to begin the rehabilitation of the building. Grant cycles for requests of \$50,000 or less are due by December, 2008. Grants in excess are considered Special Category grants and the next submittal period for such funding is spring of 2009. A second grant application should be submitted at that time. It is recommended that the initial grant application be submitted in December to at least initiate the formal planning for the rehabilitation project or to address the vital application of a new roof to protect the structure from further damage. Projects that are funding once are most always funding in successive grant cycles in order to see projects through to completion. The second grant application would address the necessary major rehabilitation work.
4. Immediately formulate plans to obtain state historic preservation matching grant funding for a comprehensive historic building survey of the unincorporated areas of Charlotte County. Such field surveys have been completed in virtually all other areas of the state and funding for surveys are given priority in grant historic preservation grant funds. The information, photographs, and maps obtained from such surveys are the basis of any and all present and future preservation planning. It is extremely important to locate and document historically document historic structures that have survived which are often and constantly threatened by developmental pressures. A survey serves to formally document the remaining historic structures before they might be lost through demolition or inappropriate alterations. It also determines the quantity, quality, and significance of surviving historic structures that may be eligible for listing in the local historic register or the National Register of Historic Places. Without such a survey, the state historic preservation office has no inventory or accounting of local historic resources beyond those listed on the National Register of Historic Places. The findings of the survey serve as their data base and provide them with at least a cursory knowledge in regards to those resources. Once the survey is complete, the listing of structures found during the survey that appear to qualify for National Register listing can be initiated.

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Heinman, Tosi Quednau, telephone interview with Mikki Hartig, Historical and Architectural Research Services on May 18, 2006.

McQueen, Bucky, personal interview with Mikki Hartig, Historical and Architectural Research Services, May 4, 2008.

Williams, Lindsey, local historian and writer, several telephone conferences and one personal meeting with Mikki Hartig, Historical and Architectural Research Services, March and April, 2006.



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 3.1 6/05

Consult Guide to Historical Structure Forms for detailed instructions.

Site

#8 CH658

Recorder #

Field Date 2/ 14 / 06

Form Date 3 / 06 / 06

- Original
- Update (give site#)

Site Name(s) (address if none) Old Charlotte County Stockade

Multiple Listing [DHR only]

Survey N/A

Survey #

National Register Category (Please check one: consult with Site File before using last four):  building  structure  district  site  object

### LOCATION & IDENTIFICATION

Address (Include N,S,E,W; #; St., Ave., etc.) 6905 Florida Street

Cross Streets (nearest / between) Henry

City / Town (within 3 miles) Punta Gorda In Current City Limits:  y  n  unknown

County Charlotte Tax Parcel #(s) \_\_\_\_\_

Subdivision name Not part of platted subdivision- legal attached Block \_\_\_\_\_ Lot \_\_\_\_\_

Ownership (Please check one):  private-profit  private-individual  city  county  Native American  
 private-nonprofit  private-unspecified  state  federal  foreign  unknown

Name of Public Tract (e.g., park) Carmelita Athletic Park

Route to (especially if no street address) Corner of Florida and Henry Streets

### MAPPING

USGS 7.5' Map Name & Date \_\_\_\_\_

Township 41S Range 23E Section 9 ¼ section:  NW  SW  SE  NE  Irregular-name: \_\_\_\_\_

Landgrant \_\_\_\_\_ UTM: Zone  16  17 Easting \_\_\_\_\_ 0 Northing \_\_\_\_\_

Plat or other map (map's name, location) \_\_\_\_\_

### DESCRIPTION

Style\* Masonry Vernacular Exterior Plan\* Irregular Number of Stories 1

Structural System(s) \*Masonry

Foundation: Type(s) \*Poured Material(s) \* Concrete

Exterior Fabric(s) \* Stucco

Roof: Type(s) \* Side-facing able Material(s) \* Tar Paper

Roof secondary strucs. (dormers etc.) \*

Chimney: No. 1 Material(s) \* Brick Location(s) \* Center slope

Windows (types, materials, etc.) \* Wood, 9 light wood awning, ind. (most missing)

Porches: #open \_\_\_\_\_ #closed \_\_\_\_\_ #incised \_\_\_\_\_ Location(s) \_\_\_\_\_

Main Entrance (stylistic details) Mirrored front and rear inset entrances

Porch roof type(s) \_\_\_\_\_

Exterior Ornament Partially exposed rafter tails, attic vents

Interior Plan\* open

Condition (Please check one):  excellent  good  fair  deteriorated  ruinous

Surroundings (N=None, S=Some, M=Most, A=All/nearly all): \_\_\_\_\_ commercial S residential \_\_\_\_\_ institutional M undeveloped

Ancillary Features (No., type of outbuildings; major landscape features. Use continuation sheet for descriptions of interior, landscaping, etc) \_\_\_\_\_

Original detached masonry pump house E

Archaeological Remains None observed  Check if Archaeological Form completed

\* Consult Guide to Historical Structure Forms for preferred descriptions (coded fields at the Site File).

### DHR USE ONLY OFFICIAL EVALUATIONS DHR USE ONLY

NR DATE ____/____/____	KEEPER-NR ELIGIBILITY <input type="checkbox"/> yes <input type="checkbox"/> no	Date ____/____/____
DELIST DATE ____/____/____	SHPO-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> potentially elig. <input type="checkbox"/> insufficient Info	Date ____/____/____
	LOCAL DESIGNATION: Local office	Date ____/____/____
National Register Criteria for Evaluation <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (See National Register Bulletin 15, p. 2)		

# HISTORICAL STRUCTURE FORM

Consult *Guide to Historical Structure Forms* for detailed instructions.

## HISTORY

Construction date: Exactly \_\_\_\_\_ (year) Approximately 1941 (year) Earlier than \_\_\_\_\_ (year) Later than \_\_\_\_\_ (year)  
 Architect (last name first): Max Charles Price Builder (last name first): \_\_\_\_\_  
 Moves:  yes  no  unknown Dates \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations:  yes  no  unknown Dates c.1956 Nature\* Window Removal, door replacement  
 Additions:  yes  no  unknown Dates c.1956 Nature\* S Addition  
 Original Use\* (give date ranges) Stockade, c.1941 to c.1955

Intermediate Uses\* (give date ranges) Nursing home, storage building

Present Use\* (give date ranges) County Maintenance Shop and Storage

Ownership History (especially original owner, dates, profession, etc.) City of Punta Gorda, Charlotte County-1982-Present

\* Consult *Guide to Historical Structure Forms* for preferred descriptions (coded fields at the Site File).

## RESEARCH METHODS (Check all choices that apply; if needed write others at bottom)

- |  |   |  |   |
|--|---|--|---|
| <input type="checkbox"/> formal archaeological survey  | <input checked="" type="checkbox"/> past surveys search at FMSF | <input checked="" type="checkbox"/> local library research     | <input type="checkbox"/> Sanborn maps                     |
| <input type="checkbox"/> informal archaeological inspection  | <input checked="" type="checkbox"/> past sites search at FMSF   | <input checked="" type="checkbox"/> non-local library research | <input type="checkbox"/> subdivision maps                 |
| <input type="checkbox"/> Public Lands Survey (DEP)   | <input type="checkbox"/> FL Archives (Gray Building)            | <input type="checkbox"/> building permits                      | <input type="checkbox"/> plat maps                        |
| <input checked="" type="checkbox"/> tax records/property deeds   | <input type="checkbox"/> FL Photo Archives (Gray Building)      | <input type="checkbox"/> demolition permits                    | <input checked="" type="checkbox"/> local newspaper files |
| <input type="checkbox"/> tax records only  | <input checked="" type="checkbox"/> occupant/owner interview    | <input type="checkbox"/> commercial permits                    |   |
| <input type="checkbox"/> interior inspection   | <input type="checkbox"/> neighbor interview                     | <input type="checkbox"/> occupation permits                    |   |
| <input checked="" type="checkbox"/> other methods (specify) <u>Building plans, interview with Edgar Watson, son of former county road superintendent</u> |   |  |   |

## RECORDER'S OPINION OF EVALUATION (NOT OFFICIAL; Check one choice on each line)

PE means Potentially Eligible

NR means National Register of Historic Places

PE individually for NR?  yes  no  insufficient info \_\_\_\_\_  
 PE as contributor to NR district?  yes  no  insufficient info \_\_\_\_\_

Area(s) of Historical Significance (See *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)  
Community Planning and Development and Law Enforcement

Explanation of Evaluation (required, whether positive or not; limit to three lines; attach longer statement, if needed, on separate sheet)

This building has some historic significance as a former Charlotte County stockade, however, it is of very minimal architectural merit as it relates to style or stylistic details. It is presently in poor condition, however, it possesses historic significance as it relates to law enforcement and appears eligible for both the local historic register and National Register of Historic Places

## DOCUMENTATION (Photos, Plans, etc.)

Bibliographic References (Use Continuation Sheet, give FMSF Manuscript # if relevant) Charlotte County Property Appraiser Records; Williams, Lindsay, local historian in a personal interview with Mikki Hartig on February 16, 2006

Photographs (required) B&W print(s) at least 3 x 5, at least one main facade.

Location of negatives & negative numbers Historical & Architectural Research Services, 2337 19<sup>th</sup> Street, Sarasota, FL 34234

## RECORDER

Name (last name first) / Address / Phone / Fax / Email / Affiliation Hartig, Mikki, 2337 19<sup>th</sup> Street, Sarasota, FL 34234, (941)-536-4476 fl\_mikki@yahoo.com, Historical & Architectural Research Services

Remember: Use a *Supplement for Site Forms* or other continuation sheet for descriptions that do not fit in the spaces above.

<b>REQUIRED:</b>	<b>(1) USGS 7.5' MAP WITH STRUCTURE PINPOINTED IN RED</b>
	<b>(2) LARGE SCALE STREET OR PLAT MAP</b>

**(3) PHOTO OF MAIN FACADE, B&W, AT LEAST 3X5**

## II. ARCHITECTURAL ANALYSIS

- 1 Introduction
- 2 Massing and Form of the Building
- 3 Exterior Facade Materials
- 4 Interior Components
- 5 Building Systems

## **Introduction**

The project entailed field measurements and analysis of the structure in its existing condition. While there had been extensive damage to the roof by Hurricane Charley, the building form and details remained intact, and due to the late discovery of original architectural design drawings, it was possible to confirm the originality of the existing building form and detail. Much of the exterior form remains intact from the date of construction, in spite of the loss of some of the original fenestration and interior walls and finishes.

## **Massing and Form of the Building**

### **Massing**

The Old Charlotte County Stockade is a simple rectangular masonry building, with a side gable roof, projecting roof overhangs at central entrances on the long sides of the building, and a small, central brick chimney mass projecting through the gable roof near the ridge. At the south end of the structure is a one story rectangular addition, with a side gable roof line approximately 3' lower than the roof of the original structure. The complex also includes a simple rectangular one-story gable roofed structure that originally served as a pump house.

The original building area contains 3,238 gross square feet. The addition contains 2,130 gross square feet. The interior space is open to a flat, beaded, wood tongue and groove ceiling attached to the bottom of the roof structure; the ceilings are approximately 12'-0" above the floor, and the truss space is accessible above the ceiling.

The original building mass is roofed with a simple side gable roof having a pitch of approximately 6:12, with a ridge height 21'-4" above the finished floor. At each long side of the building, the roof line is projected over wood brackets and beams, forming an extended roof area at the building larger entrance area. The addition is roofed with a side gable roof with a approximately 4.5:12 slope, and a ridge height approximately 18'-0" above the finished floor..

### **Facade Composition**

Original masonry openings are intact, with original steel security bars and steel gates. With one exception, all original window sashes have been removed.

### **North Elevation**

The north elevation (gable end) has been significantly altered by placement of a gabled addition, ca 1955. All window sashes and security bars have been removed. Original openings have been altered.

### West Elevation and East Elevation

The west and east elevations (side gables) have not been significantly altered, other than the removal of all sash windows. All original masonry openings, security bars, and original roof beams are intact. See original construction drawings. It appears that wood window trim shown on the original drawings has either been removed or was never installed. Half-round gutters shown on the original drawings are not existing, either removed or not originally installed.

### South Elevation

The south elevation is a one story gable end with four window openings and two engaged piers. All original openings are intact as on the east and west with wood sashes removed. The roof overhang and rake trim have recently been restored by Charlotte County after having been removed by Hurricane Charley.

## Exterior Facade Materials

### Roof Materials:

- Description: The single gable roof is roofed with new 5V Crimp Galvalume metal roof sheets, replicating the original 5V Crimp metal roofing. This roof was completed in 2006.
- Condition: The metal roof sheets are new.

### Portland Cement Plaster (Stucco):

- Description: The entire facade is covered with a sand finish cement plaster with a slight float texture which appears to be original.
- Condition: The cement plaster is in fair to good condition with one exception. There is recent cracking on the south facade where the masonry walls were stressed by the winds of Hurricane Charley. Otherwise, there is little cracking visible.

### Doors and Windows

- Description: There is one original window sash existing. At all other window openings, the wood sash windows have been removed and replaced with plywood. Original security bars at all doors and windows are existing except at the entire original north elevation.
- Condition: Security bars show some surface rust, otherwise are in reasonably good condition. The remaining window sash is in salvageable condition and has great value as a pattern for future restoration efforts.

## Interior Components

**Description:** The original painted concrete masonry walls and tongue & groove beaded board ceiling are remaining. A new concrete slab, approximately 3 ½" thick, has been poured on top of the original slab. It appears that this topping slab was installed as a response to the fact that the top of the original floor slab was installed very nearly equal to or slightly below the elevation of the exterior grade. The beaded board ceiling has suffered significant water damage and will require replacement.

**Condition:** The condition of materials, excepting the ceiling is fair.

## Building Systems

### Structural Systems

The structure is a conventionally framed wood site-built trusses bearing on concrete masonry unit walls. The trusses are constructed with pine 2x8 top chords with scabbed 2x6 eave extensions, 2x6 bottom chords, and 1x6 web members in a king post configuration.

### Bearing Walls

The walls are assumed to be horizontally unreinforced. The original drawings call for ¾" diameter top plate anchors, 8'-0" long at the high walls, and 6'-0" long at the low walls. These members would serve to secure the top plate to the wall but, since they do not continue to the reinforced concrete footing would offer little resistance from uplift.

### Roof Framing

The trusses are pine and constructed with 1 ½" x 7 ½" top chords at 40" on center. Eave extensions are 1 ½" x 5 ½" at the same spacing. The bottom chords are 1 ¾" x 5 ½" at 40" on center with intermediate 1 ¾" x 3 ½" ceiling joists between each truss. Web members are 7/8" x 5 ½" in a king post configuration. Truss member-to-member connections are through nailed and the trusses are toe-nailed to the 3 ½" x 5 ½" top plate.

The original roof deck is 7/8" random width pine decking. As a part of the roof repair, CDX plywood sheathing was installed over the existing decking with screws run through the decking into the trusses.

### Plumbing System

The plumbing system is primarily cast iron sanitary sewer with galvanized supply piping below the floor slab, all of which will require replacement. None of the original fixtures are remaining.

### HVAC System

There are no operable HVAC systems installed.

### Electrical System

The electrical service entrance and meter is located on the west face of the 1955, north addition, fed by overhead secondary conductors to a service head.. The electrical panel is located inside the addition. Visible distribution is a combination of EMT conduit, romex, and greenfield, flexible metal conduit with integral conductors.

### III. CODE REVIEW

This review has been prepared in accordance with the following codes in force at this time, including the current supplements:

Florida Building Code 2004 Edition  
Florida Mechanical Code 2004 Edition  
Florida Plumbing Code 2004 Edition  
Florida Fire Prevention Code 2001 Edition  
National Electrical Code 1999 Edition

The existing building is a one story building containing 3,238 gross square feet (gsf) with unreinforced concrete masonry exterior bearing walls and site-built gabled wood roof trusses, wood deck, and metal roof. It was constructed ca. 1941 as the Charlotte County stockade. Most recently, it has been utilized for storage. As a result of damage from Hurricane Charlie, a new roof has been installed by Charlotte County and the roof membrane and substrate (wood decking) now meet all requirements of the current building codes. The building is neither air conditioned nor heated. Electrical service is currently 200 amps, single phase.

This review is based upon proposed use as a community center for the local equestrian association for offices, tack storage, meeting rooms, and offices. With these uses, the building will be classified as Business and Assembly. The programed assembly spaces are capable of containing approximately 150 occupants and will be classified as Assembly A-3 as a community hall, exhibition hall and/or lecture hall.

In general, a change of use to Business and/or Assembly and the substantial improvements necessary to satisfy the program will require that all systems be upgraded to provide compliance with all codes in force, including Building, Structural, Plumbing, Mechanical, and Electrical codes. Further, a change in use will require that each element, space, feature, and area comply with the Florida Accessibility Code for Construction.

In cases of mixed occupancies such as this one, the code allows non-separated uses provided that the Allowable Height and Building Areas (Table 503) can be met for the most restrictive of the occupancies which, in this case, is Assembly. For Construction Type V B, the code allows a maximum of 1 story and 6,000 gross square feet in area, unsprinklered. The existing building, at 1 story and 3,238 gsf meets these allowable limitations. This means that, since the allowable height and areas can be met, then the occupancies need not be separated by fire rated walls based on requirements of occupancy separation. However, Chapter 10 - Means of Egress, requires that the means of egress from the Assembly occupancy to the exterior be separated from the Business occupancy by one hour fire rated construction.

**Occupancy Classification:** Assembly Group A-3  
Business Group B

**Construction Classification:** Type V B  
All structural elements, exterior walls, and interior walls are of any materials permitted by the building code.

**Allowable Height and Area:** Assembly A-3, Type V B, unprotected, unsprinklered  
1 Story, 6,000 gsf per floor

**Actual Area:** 3,238 gross square feet

**Fire Resistance Rating Requirements**

For Type V B, unprotected, unsprinklered:

Maximum Area of exterior walls	No Limit
Structural Frame	0 hour
Bearing Walls, Exterior	0 hour
Non- Bearing Walls	0 hour
Floor Construction	0 hour
Roof Construction	0 hour

**Fire Separation for Mixed Occupancy:**

The use of the building as programmed will be considered as a Non-Separated use, with no requirement for fire separation of occupancies, except for egress requirements as stipulated above.

**Occupant Load:**

Table 1004.1.2 Assembly A-3: Concentrated, chairs only 1,035sf @ 7 net = 148  
Business B: 2,173sf @ 100 gross = 22

**Means of Egress:** 2 required

**Florida Accessibility Code Requirements**

At a minimum, the code requires the following elements to be accessible:

- Parking (7 spaces), hard surface with hard surface route to the building;
- ramp to first floor level;
- accessibility to all spaces;
- male and female toilet rooms, and;
- drinking fountains.

In addition, all exhibits, displays and written information should be located where said displays can be read by a seated person. In the case of written information displayed horizontally, the information should be no higher than 44 inches above the floor.

### **Florida Building Code - Plumbing Requirements**

As a result of substantial improvements and a change in use, the entire plumbing system will be required to meet the requirements of current codes.

#### **Minimum Number of Plumbing Fixtures:**

For Assembly A-3 and Business occupancies the Code will require separate male and female toilet rooms. The distribution of fixtures is as follows:

	Male WC	Female WC	Combined WC	Lavatories
Assembly, 148 Occupants	2	3		1
Business, 22 Occupants			1	1
<hr/>				
Total	3	3	6	2

### **National Electrical Code Requirements**

As a result of the value of the alterations exceeding fifty percent of the value of the structure, and a change in use, the entire electrical system will be required to meet the requirements of current codes. This will require new electrical service and rewiring of the entire building.

## IV. STRUCTURAL ANALYSIS

Michael E. Lastovica, P.E.  
Anchor Engineering Consultants, Inc.  
1520 Royal Palm Square Boulevard, Suite 260  
Fort Myers Florida 33919



February 24, 2006

Ferrell Sanford Studio  
1473 Barcelona Avenue  
Fort Myers, Florida 33901

Attention: Bob Sanford

**RE: CHARLOTTE COUNTY CARMALITA STOCKADE**  
6905 Florida Street  
Punta Gorda, Florida 33950  
Roof truss and existing wall analysis  
AECI Proposal F2006-048

Per your request, we have analyzed the structural load capacity of the existing roof trusses. Based on preliminary field gathered information for the truss members and excluding analysis of the truss member connections, the existing roof trusses are capable of supporting a total load of 14 psf. Analysis of the truss member connections may reduce the total load capacity. Excluding analysis of the truss member connections, the existing roof trusses are capable of withstanding an 85 mph velocity wind loading if adequately anchored for uplift (anchorage was not verified). Analysis of the truss member connections may reduce the wind velocity capacity.

The 2004 edition of the Florida Building Code requires that the roof trusses support a 20 psf live load as well as applicable building dead load. Assuming a building dead load of 20 psf to account for the weight of trusses, ceiling, roof deck, roofing, and ductwork, the required total load is 40 psf which exceeds the available total load capacity. The 2004 edition of the Florida Building Code requires that the roof trusses resist a wind velocity of 130 mph which exceed the available capacity. Based on our preliminary analysis, we believe the existing roof trusses can be strengthened by reinforcing the existing truss members and connections.

The exterior walls of the existing building appear to be 12" thick unreinforced masonry (CMU). These walls could be reinforced utilizing vertical steel tubes spaced at 4' on center attached to the inside face of the existing wall. The vertical steel tubes could support a horizontal steel beam that would be attached to the underside of the existing roof trusses to provide uplift resistance.

Should you decide to pursue the reinforcement of the roof trusses and exterior walls, additional field investigation and structural analysis will be necessary to prepare structural reinforcement drawings.

Should you have questions or require additional information, please contact this office.

**ANCHOR ENGINEERING CONSULTANTS, INC.**

  
Michael E. Lastovica, P.E.  
Structural Engineer

## **V. RESTORATION AND REHABILITATION RECOMENDATIONS**

- 1 Introduction
- 2 Use Plan
- 3 Restoration of Historic Features
- 4 Building Systems

## INTRODUCTION

These recommendations are based upon research of available documentation, the Historical Assessment, recordation of the existing conditions of the building, and analysis of the compatibility of the desired use with the historic space and fabric of the building.

## USE PLAN

In accordance with the program provided by representatives of the Charlotte County Department of Parks, Recreation and Cultural Resources, the primary use for the building is as an Equestrian Center for meetings and events for local, private equestrian associations. This use is not compatible with an interior restoration of the stockade spaces and facilities, so these recommendations will be governed by the desired use.

In general, the recommendations are for an exterior restoration and an adaptive re-use of the interior spaces. These recommendations include locating the concession kitchen and toilet facilities in a portion of the ca1965 north addition as these uses are not compatible with the historic building. The existing pump house should be restored in accordance with the recommendations for the Stockade building.

### Building

The program spaces will be as follows:

- Meeting Room - for association meetings of approximately 100 occupants, sub dividable into 2 smaller meeting rooms;
- Tack Rooms – secure tack storage rooms for up to 3 different associations;
- Event Office – with exterior access to arena side (west side) of building;
- Concession Kitchen – operated by non-professional association volunteers during events;
- Toilet Rooms – accommodate requirements for assembly space and, if possible, the site events.

### Site Work/ Landscaping

There is little historical information available regarding the appearance of the site other than the one photograph included in this report which shows minimal landscaping. As addressed in Section III, Code Review, an accessible route from the required, paved, accessible parking to the building entrance(s) must be provided. In addition, an accessible route from the building to the arena spectator area must be provided.

Care should be taken with site landscaping and grading to direct water away from the building, owing to the fact that the differential between building floor and ambient grade is minimal. No topographical

survey was provided, but it appears that the building floor is lower in elevation than the crown of Florida Street. Owner should include complete boundary and topographical surveying services as part of the next phase of the work.

## **RESTORATION OF HISTORIC FEATURES**

### **Exterior**

#### Roof Materials:

The building is roofed with new 5V Crimp Galvalume metal roof sheets, replicating the original 5V Crimp metal roofing. This roof was completed in 2006 and only needs regular maintenance.

#### North Wall:

Remove a portion of the 1955 addition as shown on the schematic design drawings and restore the north wall following the original drawings by removal of CMU infill at original openings and installation of replicated doors, windows, and security bars.

#### Portland Cement Plaster (Stucco):

The entire facade is covered with a sand finish cement plaster with a slight float texture which appears to be original. The cement plaster is in fair to good condition with one exception. There is recent cracking on the south facade where the masonry walls were stressed by the winds of Hurricane Charley. The stucco should be analyzed for make-up, cracks filled, and stucco repaired with like materials once the structure has been stabilized and reinforced as discussed below.

#### Doors and Windows

There is one original window sash existing. This sash is in salvageable condition and should be utilized as a pattern for the replication of sashes for all other window openings with adjustment made to accommodate impact rated glazing. The existing security bars at doors and windows should be restored by removal of rust and loose paint and repainting. Security bars should be replicated where missing at the north openings.

#### Painted Finishes:

Test existing paint for color, make-up and presence of controlled substances, then scrape, sand, and repaint beams, outriggers, and eaves. Paint CMU/stucco walls with an elastomeric paint to provide a vapor barrier at the external surface. Care must be taken to maintain the elastomeric paint as it will be the only vapor barrier for the building walls.

## **Interior**

### Building Envelope

Vapor barrier will be provided by the roof membrane and elastomeric paint. Install unfaced R-30 fiberglass batt insulation at the underside of the roof deck utilizing removable attachments. At this time, there are no non-destructive methods available to insulate the exterior CMU walls. The walls should be retained as uninsulated and the HVAC systems sized accordingly.

### Ceilings

Perform additional testing to determine the original finish of the existing board ceiling. It appears that this ceiling may have been originally finished with a varnish or similar clear finish. Replace the beaded board ceiling with new, matching the profile, wood species and density, and finish.

### Floors

It is apparent that the original concrete slab is below the slab that is visible. This observation is based on the fact that, at areas of floor penetrations, an approximately 3 ½" thick slab can be seen on top of another layer of concrete. In addition, there is no evidence of attachment points for the original security bars illustrated on the original drawings. For both economy and ease of maintenance, it is recommended that the slab be cleaned, acid etched, and sealed.

## **Building Systems**

### Structural Systems

Install new foundations for tube steel columns at inside face of perimeter walls, provide attachment to existing CMU walls and roof trusses in accordance with the structural recommendations and with structural engineering design to be performed as a part of the next phase of the project. Trusses should be analyzed and reinforcement installed as required for lateral and uplift loads, and loads imposed by new HVAC equipment. The existing roof includes new 5/8" plywood roof sheathing which is screwed into the existing roof trusses through the original 7/8" random width roof sheathing in accordance with the code requirements in force in 2006.

### Partitions

The schematic design drawings show new interior partition walls at locations of original walls. The tack storage should be secured with bars similar to original. Wherever possible, solid partition walls should terminate below the ceiling.

### HVAC System

Install split DX systems with air handlers installed in the truss space and condensing units located at the west face of the 1955 addition with refrigerant lines run underground and turned up at building interior to the truss space. Install exposed, spiral ductwork to make it obvious that this system is a modern intervention and to avoid numerous penetrations in the ceiling.

### Electrical System

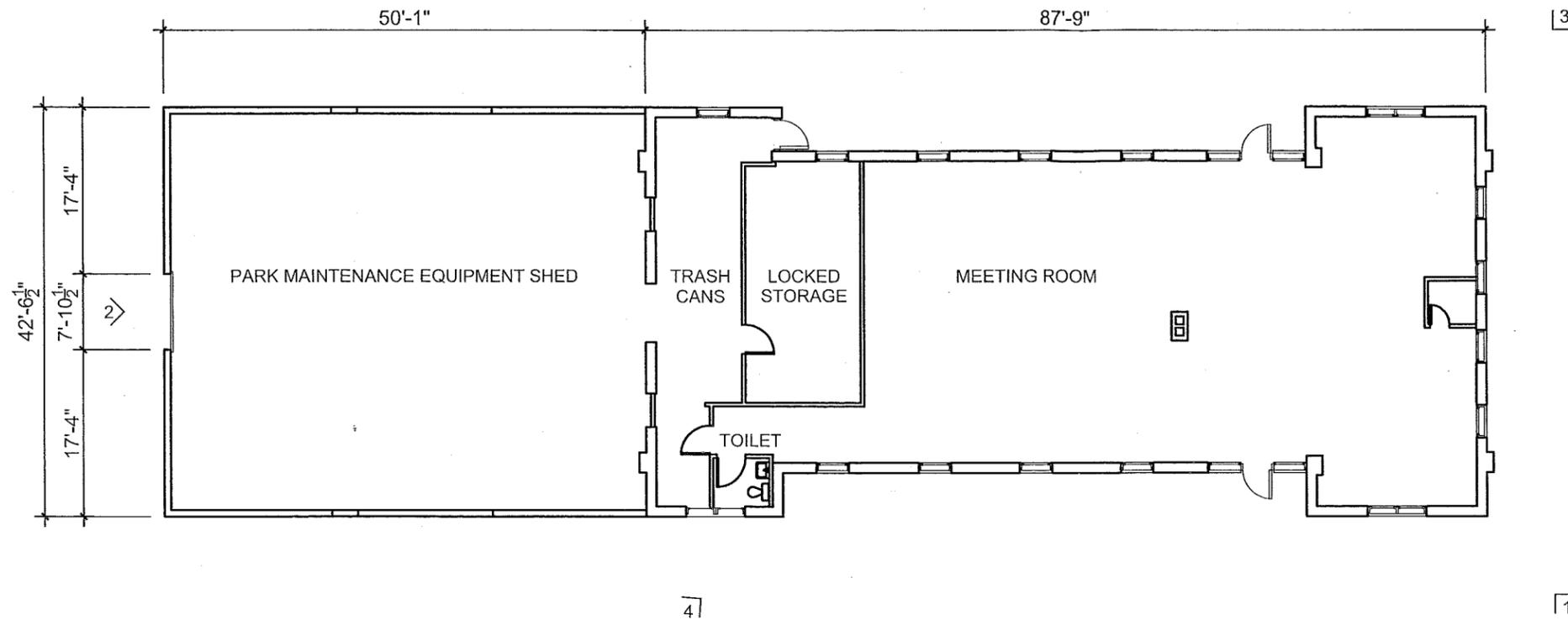
Provide new electrical service underground to west side of the 1955 addition, with electrical panel located inside the addition and underground distribution to the historic building.

Provide exterior lighting with indirect sources in the landscape and as part of an overall site lighting plan.

Provide pendant-mounted, linear direct/indirect fluorescent light fixtures in historic building. Install electrical outlets only in new partition walls.

## VI. MEASURED DRAWINGS AND CONDITIONS PLANS

- A.1 Existing Overall Floor Plan
- A.2 Existing Overall Roof Plan
- A.3 Measured Drawings: Floor Plan at Historic Structure
- A.4 Measured Drawings: Not Used
- A.5 Measured Drawings: Not Used
- A.6 Conditions at Historic Structure: Floor Plan
- A.7 Conditions at Historic Structure: Opening Schedule



1 Existing Overall Floor Plan  
A.1 1/16" = 1'-0"



DRAWING NOTES

General Notes

Most interior and exterior finishes are original, with the following exceptions:

- The visible interior floor slab is installed over the original floor slab.
- There is only one remaining original window unit.

Room names reflect existing uses of space; original building spaces were utilized differently.

Room sizes, where indicated, are nominal for planning purposes only.

Symbol Legend

- 9 Designates Photo number (see Photo notes, each sheet)

PHOTOGRAPHS

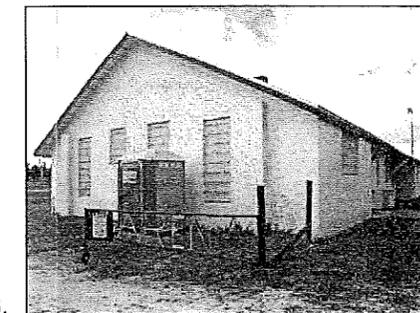
General Notes

Photographic notes are paired with the respective photographs.

Digital copies of the enclosed photographs are provided on CD, in .jpg format. Digital copies are provided to the Owner for use with this feasibility study only, and are intended to provide an opportunity to view or present individual photographs at a larger scale, and to make color prints as needed for review. Most of the photographs are dated January 2005.

Refer to Part II. Architectural Analysis for descriptive text.

EXTERIOR PHOTOS



Photographic Images

1. Southwest Elevation - image # 8302
2. North Elevation - image # 8295
3. Southeast Elevation - image # 8197
4. West Elevation - image # 8300

MD 2005  
Analysis 4.2006

DRAFT 21 June 2006  
Final 25 July 2008

Toni Ferrell  
25 July 2008

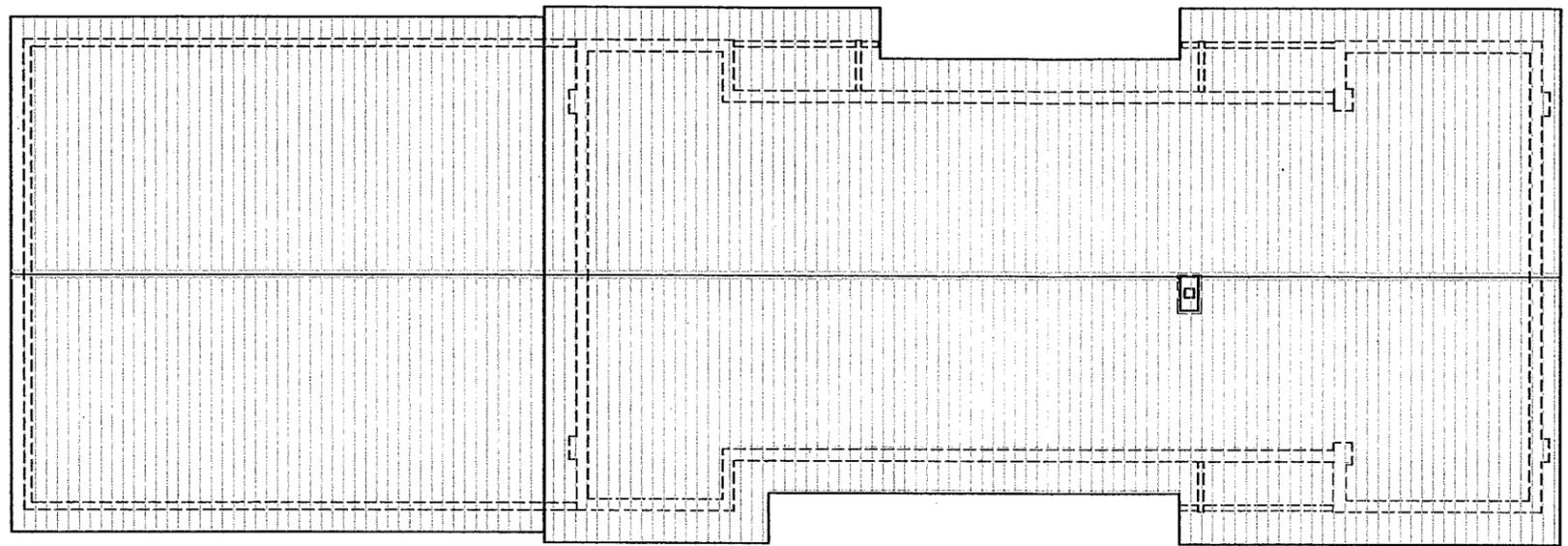
HISTORICAL ASSESSMENT & FEASIBILITY STUDY for  
**THE OLD CHARLOTTE COUNTY  
STOCKADE**  
6905 FLORIDA STREET, CHARLOTTE COUNTY FLORIDA

FERRELL SANFORD STUDIO INC  
ARCHITECTURE & DESIGN  
1473 BARCELONA AVE FT MYERS FLORIDA 33901  
PH 239 334 3832 FAX 239 337 0295

DATE  
25 July 2007

PROJECT NO  
CHC 0402cs

**A.1**  
AA 0003318



1  
A.2

## Existing Overall Roof Plan

1/16" = 1'-0"



### DRAWING NOTES

#### General Notes

The roof of the Old Stockade was badly damaged by a hurricane, shortly before the field work was completed for this survey. The structure was temporarily covered by a plastic tarp. Water infiltration and wet conditions in the building persisted for a number of months until a new, Galvalume 5 V Crimp roof was installed, replicating the original historic roof material.

The historic roof structure consists of 2x wood trusses, spaced approximately 40 inches apart, with random width 1x wood decking. New 3/4" plywood sheathing was installed on top of this decking and screwed through the original decking and into the original roof trusses.

Throughout the historic building, 1x 4, beaded T&G painted wood is installed on the bottom of the trusses and is the original material. Due to the water intrusion previously noted, this material is not likely to be salvaged.

The attic is accessible through a hatch in the ceiling near the chimney.

### PHOTOGRAPHS

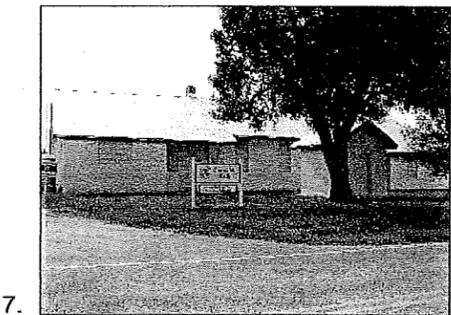
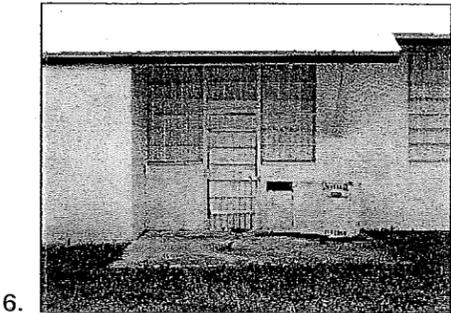
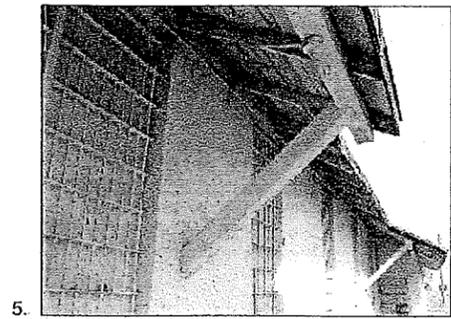
#### General Notes

Photographic notes are paired with the respective photographs.

Digital copies of the enclosed photographs are provided on CD, in .jpg format. Digital copies are provided to the Owner for use with this feasibility study only, and are intended to provide an opportunity to view or present individual photographs at a larger scale, and to make color prints as needed for review. Most of the photographs are dated January 2005.

Refer to Part II. Architectural Analysis for descriptive text.

### EXTERIOR PHOTOS



#### Photographic Images

- 5. Bracket support at entrance - image # 8251
- 6. Bracket support at entrance - image # 8262
- 7. Pump House with metal roof - image # 8291
- 8. Attic with loose insulation - image # 8219

MD 2005  
Analysis 4.2006

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FINAL 25 July 2008

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25 July 2008

HISTORICAL ASSESSMENT & FEASIBILITY STUDY for  
**THE OLD CHARLOTTE COUNTY  
STOCKADE**  
6905 FLORIDA STREET, CHARLOTTE COUNTY FLORIDA

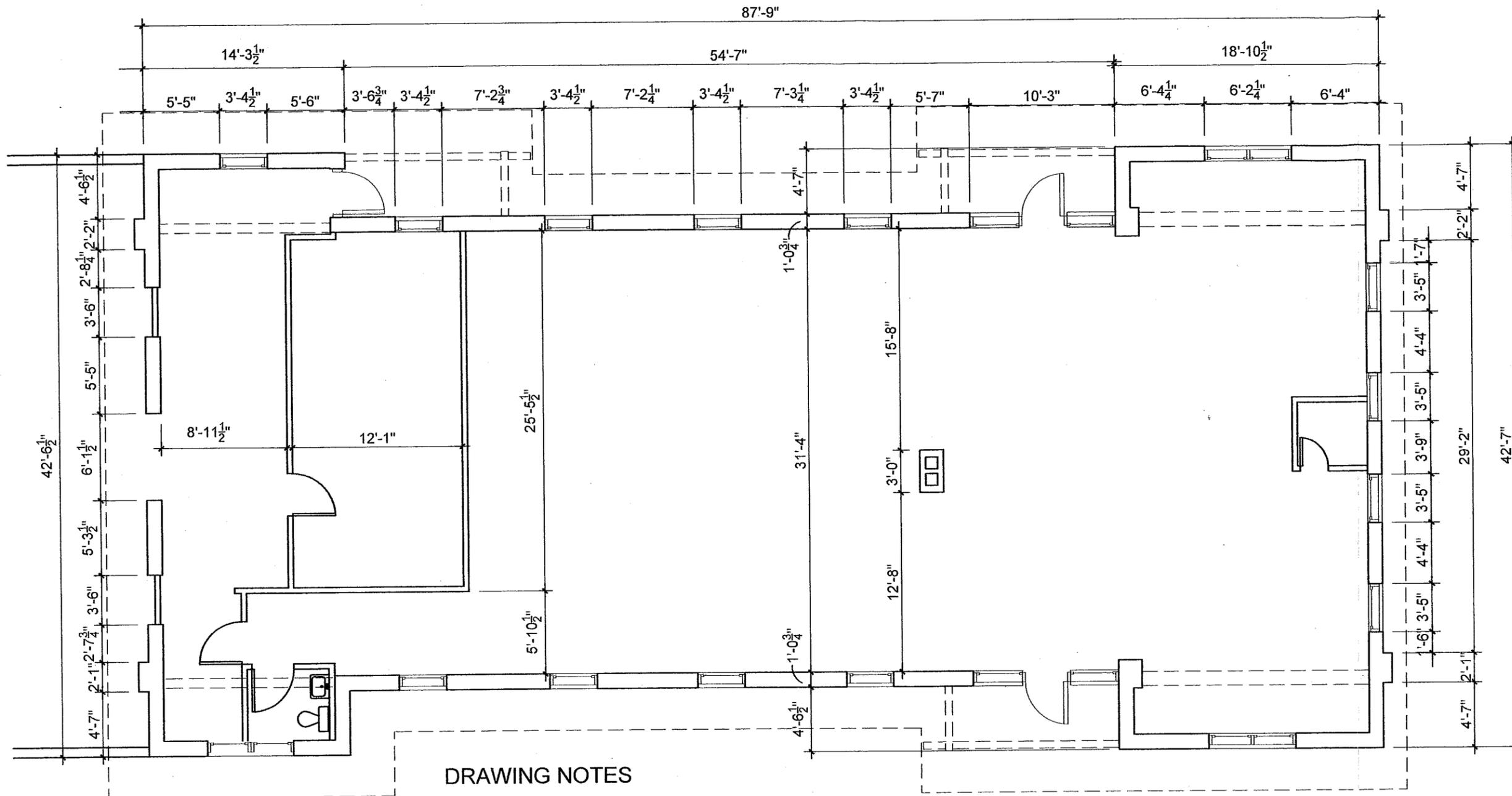
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**A.2**

AA 0003318



**DRAWING NOTES**

General Notes

Dimensions are nominal, and are shown for general planning purposes only. Dashed lines indicate beams, soffits or framed openings above. Floor lines indicate change in floor finish, change in floor level, or joints in finish materials.

Exact framing dimensions and locations of framing members have not been verified. Generally, due to the age and condition of the building, walls and floors are not level or plumb.

Regarding Field Inspections

Multiple site visits were conducted by the Architect and various consultants over a period of months. Activities were limited to visual surface inspection, photographic documentation, oral history, and field measurements by small teams of 1, 2 or 3 persons; no investigative demolition was conducted.

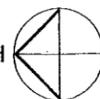
This contract was limited in scope to studies for architectural feasibility, and did not include exhaustive research, environmental surveys, or analysis for the presence of asbestos or other environmental hazards within the building or on the building site.

1  
A.3

**Measured Floor Plan - Historic Structure**

1/8" = 1'-0"

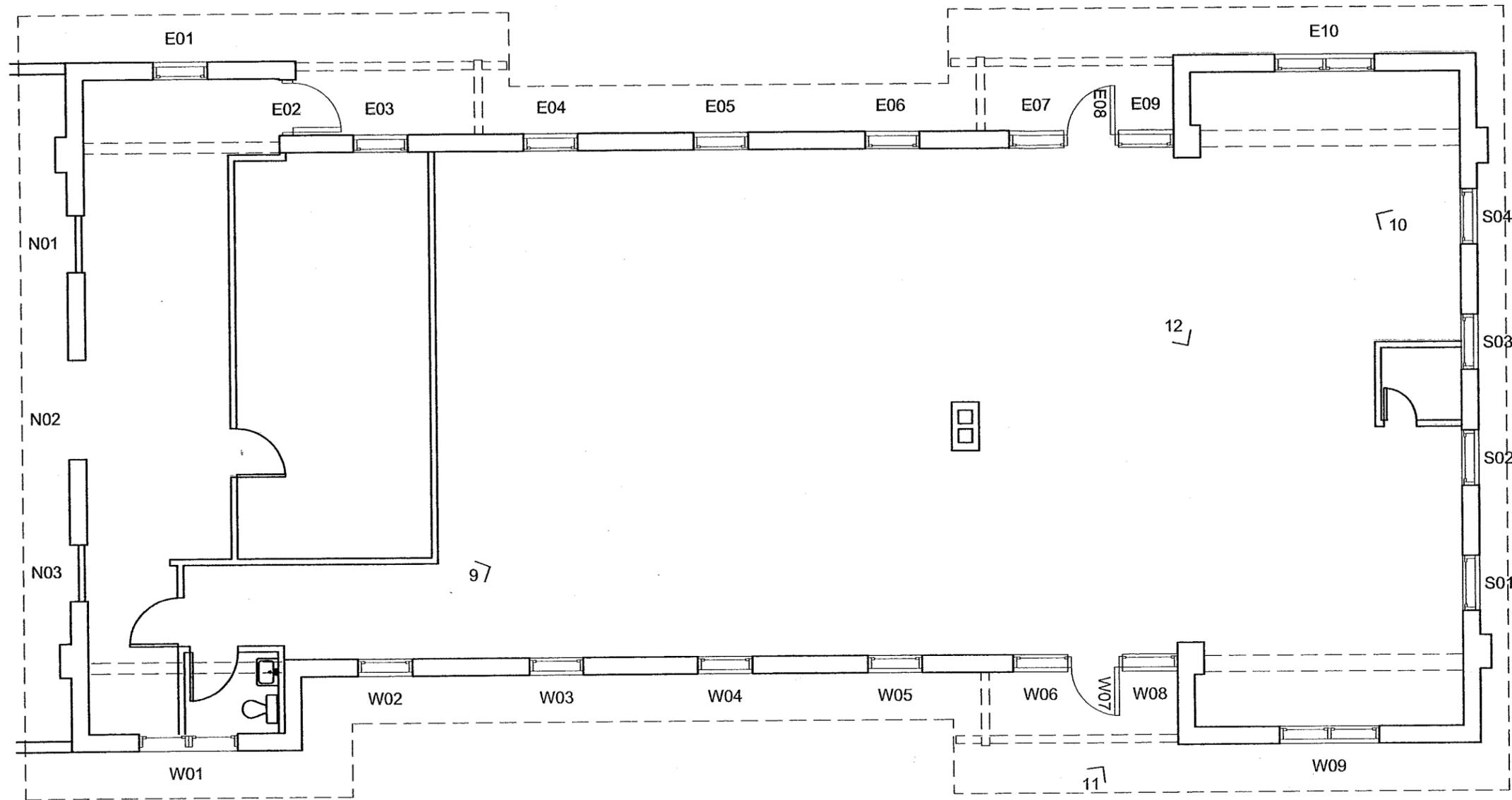
NORTH



MD 2005 Analysis 4.2006
DRAFT 21 June 2006 FINAL 25 July 2008
Toni Ferrell 25 July 2008
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### DRAWING NOTES

#### General Notes

See Sheet A3 for dimensions.  
See Sheet A5 for Condition of Fenestration & Security Bars.

As a jailhouse, one of the primary contributing details of the Old Stockade is the jail bars. While all of the interior bars have been removed, it should be noted that nearly all of the original exterior bars remain in place and in good condition. Some of the original interior bar locations can be noted by observing holes in the masonry walls.

#### Regarding Field Inspections

Multiple site visits were conducted by the Architect and various consultants over a period of months. Activities were limited to visual surface inspection, photographic documentation, oral history, and field measurements by small teams of 1, 2 or 3 persons; no investigative demolition was conducted.

This contract was limited in scope to studies for architectural feasibility, and did not include exhaustive research, environmental surveys, or analysis for the presence of asbestos or other environmental hazards within the building or on the building site.

1  
A.6

## Conditions @ Historic Structure

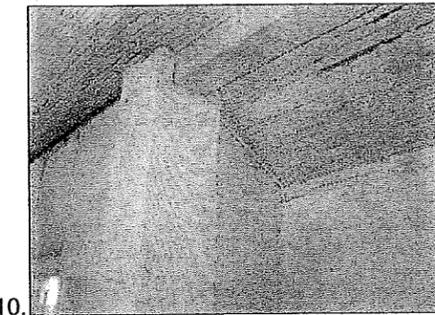
1/8" = 1'-0"



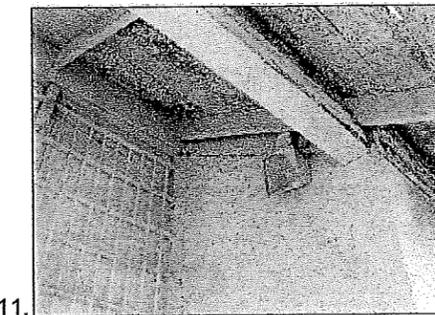
### DETAIL PHOTOS



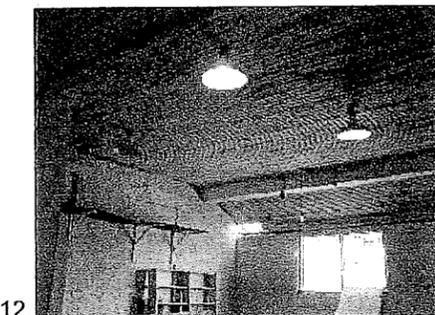
9.



10.



11.



12.

#### Photographic Images

- 09. Interior looking southeast - image # 8216
- 10. Interior beam detail - image # 8245
- 11. Exterior beam detail - image # 8278
- 12. Original window, opened - image # 8229

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## EXISTING OPENING SCHEDULE

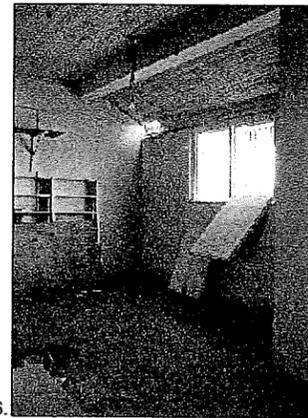
Unit #	W x H	Condition	Ext Trim	Bars	Unit	Int Trim	Glass	Glazing	Remarks
N01	35x66	OC	OC	OC	OC	Poor	OC	OC	2.
N02	35x66	Missing	-	-	Missing	-	Missing	Missing	1.
N03	35x66	OC	OC	OC	OC	Poor	OC	OC	2.
E01	35x66	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
E02	17x33	Fair	Fair	Good	Good	Poor	NA	NA	5.
E03	36x80	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
E04	36x66	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
E05	36x66	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
E06	35x26	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
E07	35x26	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
E08	35x26	Fair	Fair	Good	Good	Poor	Fair	Poor	3.
E09	35x26	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
E10	35x26	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
S01	36x80	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
S02	35x26	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
S03	35x26	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
S04	36x66	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
W01	36x66	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
W02	35x26	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
W03	35x26	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
W04	35x26	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
W05	35x26	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
W06	35x26	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
W07	36x80	Fair	Fair	Good	Good	Poor	Fair	Poor	3.
W08	35x26	Fair	Fair	Good	Missing	Poor	Missing	Missing	-
W09	35x26	Fair	Fair	Good	Good	Poor	Good	Poor	4.

### REMARKS

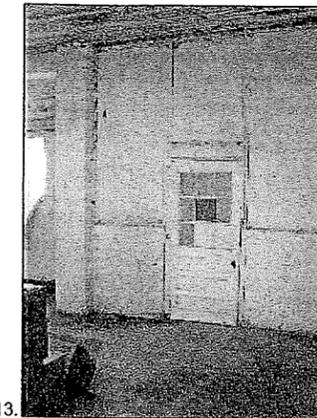
Refer to Conditions Plan, Sheet A.4 for Unit # - all openings.  
Unit designation example: S04 = South elevation, Opening #04

1. Original documents indicate paired windows at this location; with a sill height of 7'-9". This masonry opening has been altered to serve as an open doorway to the north addition.
2. OC - Original opening concealed. Original bars and/or windows may - or may not - remain in place.
3. Original entry doors. Interior door: in-swing, painted cypress wood door, top half 3 over 3 glass lights, bottom half 3 recessed wood panels. Exterior door: out-swing, painted round and flat steel bars with original heavy-duty steel hinges. Note that oral history provides description of screens at exterior out-swing door locations.
4. Original pair of window units remain: painted cypress wood frame hoppers, 3 over 3 glass lights, with bottom mount hinges, hardware, pulleys in place above. One unit was removed from opening, leaning on wall below masonry opening.
5. NA - Original in-swing door not accessible at time of survey. Interior door condition should be verified.

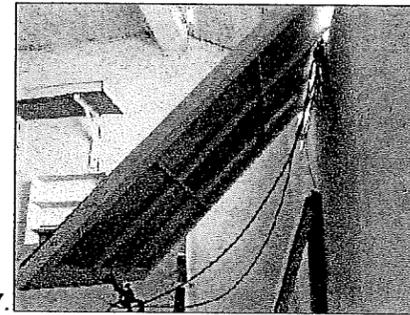
## DETAIL PHOTOS



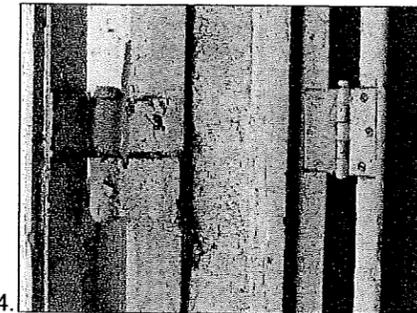
16.



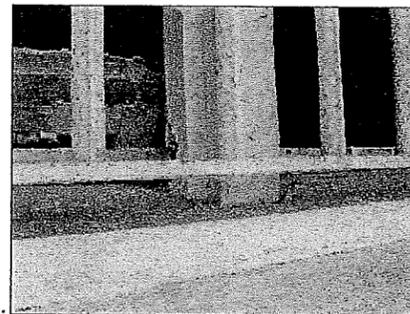
13.



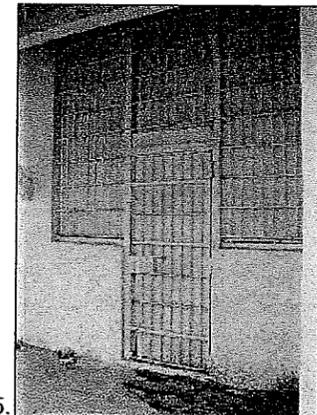
17.



14.



18.



15.

### Photographic Images

16. Interior view Original Window - image # 8199
17. Window, note operation & trim - image # 8200
18. Exterior view Original Window - image # 8273

### Photographic Images

13. Interior view Entry Door - image # 8198
14. Hinge detail Entry Door - image # 8240
15. Exterior view Entry Door - image # 8281

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**FERRELL SANFORD STUDIO INC**  
ARCHITECTURE & DESIGN  
1473 BARCELONA AVE FT MYERS FLORIDA 33901  
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**A.7**

AA 0003318

## VII. ORIGINAL ARCHITECTURAL DOCUMENTS

### Introduction

- HD.1 Floor Plan
- HD.2 Dimensioned Floor Plan
- HD.3 Exterior Elevations
- HD.4 Exterior Elevations
- HD.5 Building Section at Infirmary
- HD.6 Building Section toward Captain's Room
- HD.7 Wall Section & Window Detail
- HD.8 Window Details
- HD.9 Door Details
- HD.10 Jail Cell Bars Detail Sheet
- HD.11 Pump House Plan & Elevations
- HD.12 Electrical Systems and Specifications Sheet

## Introduction

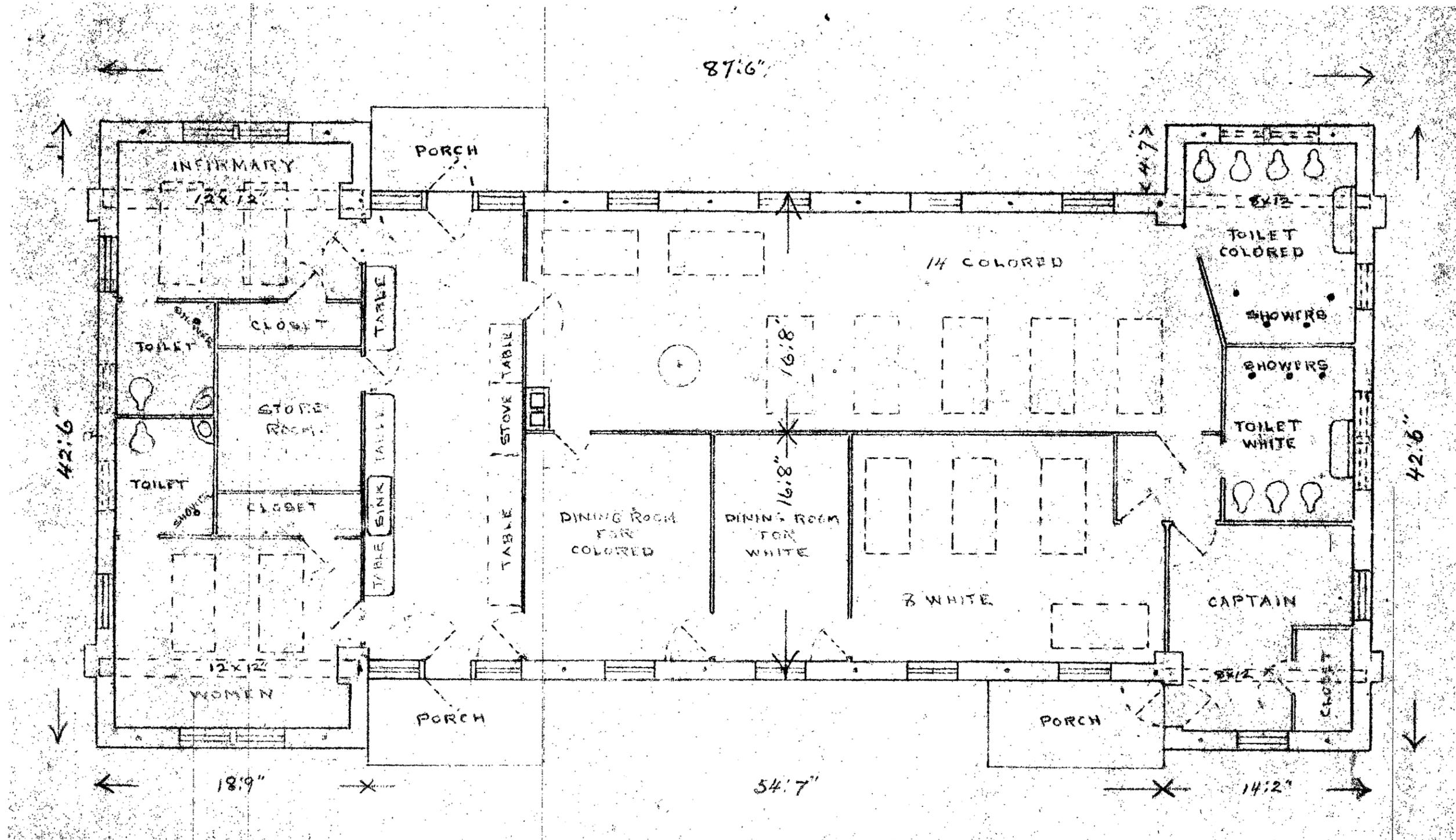
Original [1941] architectural drawings and specifications of Max Charles Price were discovered to be in the possession of Charlotte County Central Records office, in Punta Gorda Florida. These drawings are quite detailed and - where the building remains unaltered - show exactly what was constructed and installed in the building, including the detail of the steel jail cell security bars and gates, doors, windows and electrical fixtures. The significance of these drawings cannot be over emphasized; they are invaluable as a record and as a guide for any restoration efforts.

In addition to the detail of construction, these drawings provide a historic record of the conditions at the Old Stockade; descriptions on the floor plan provide the public with a clear view of the life of the inmate as well as his caretakers.

It should be noted that the original architectural drawings were discovered late in the process of this survey. Copies of the [some of] the original drawings were provided in digital form to Ferrell Sanford Studio, Inc. and parts of these are reproduced here to provide the reader with a sample of the detail and information contained therein. Where the building has been altered or damaged, the original documents remove any need for speculation.

The original drawings have not been viewed or cataloged by this office. We strongly recommend that the drawings be inspected for their condition, evaluated for care and storage, and fully catalogued and master copied to avoid unnecessary wear and damage. The original drawings should be archived off site, with the master copy available to assist in the rehabilitation of the building, for display in the historical museum, and for general access by the public.

The original architectural floor plans by Max Charles Price are oriented with north to the right side of the sheet. Modern convention demands that architects orient plans "north up" or with north to the left on the drawing sheet. Plans by Ferrell Sanford Studio Inc. are oriented north to the left.



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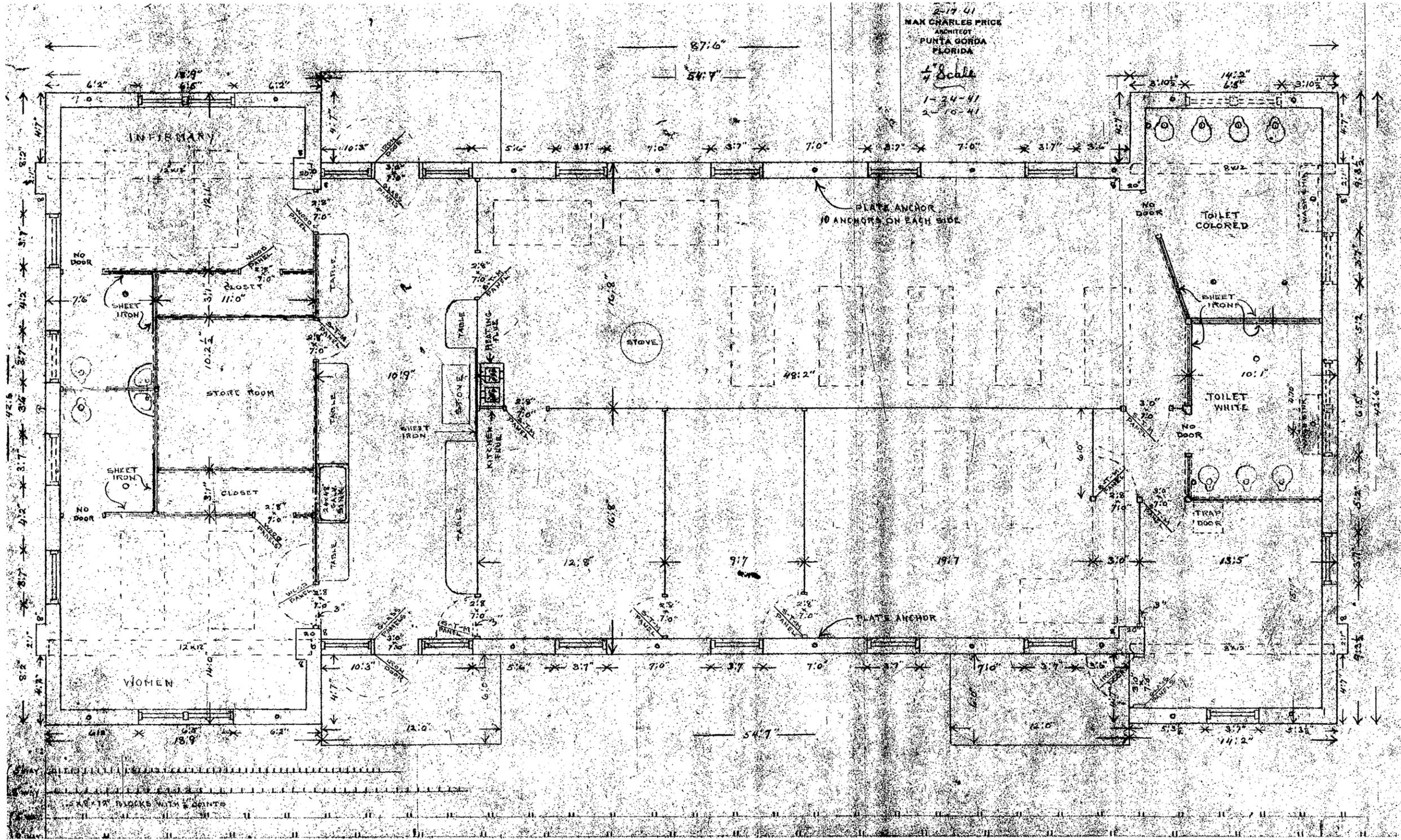
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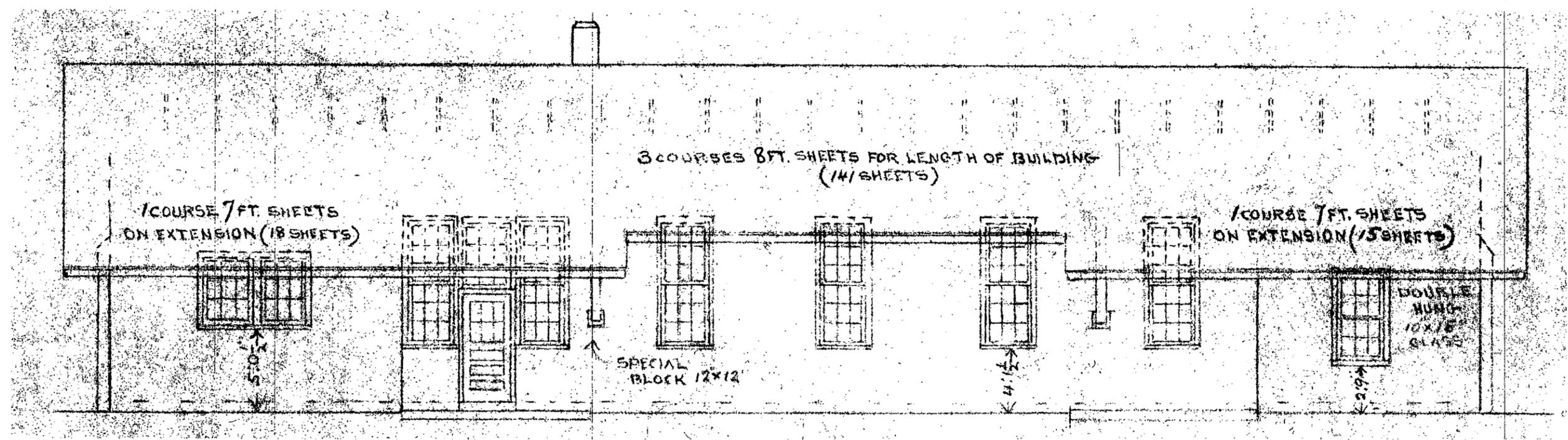
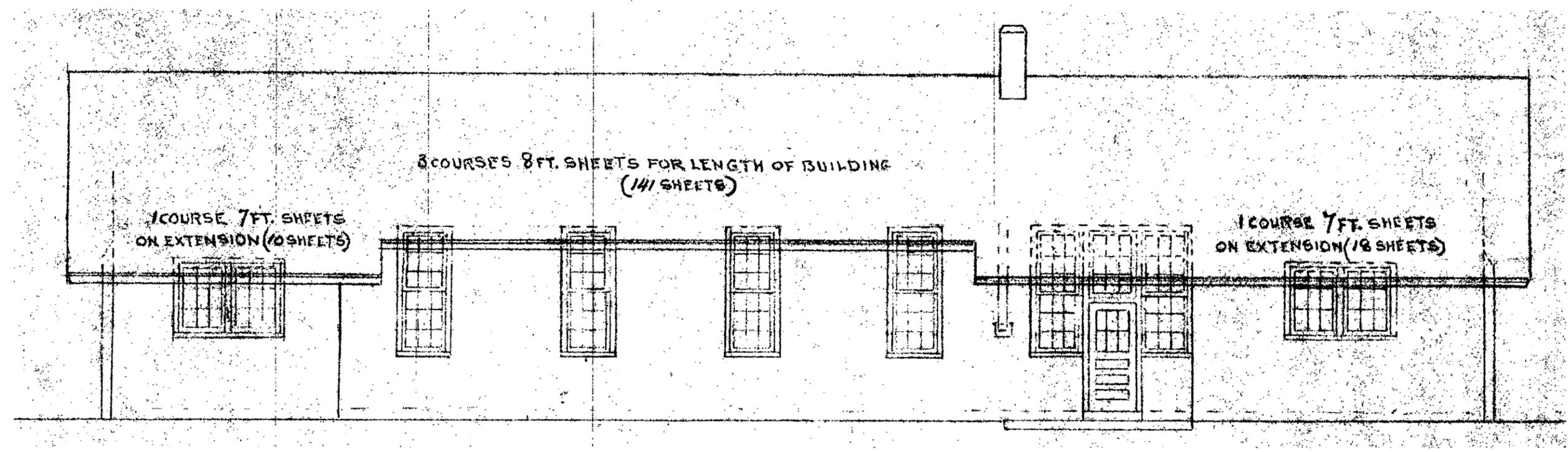
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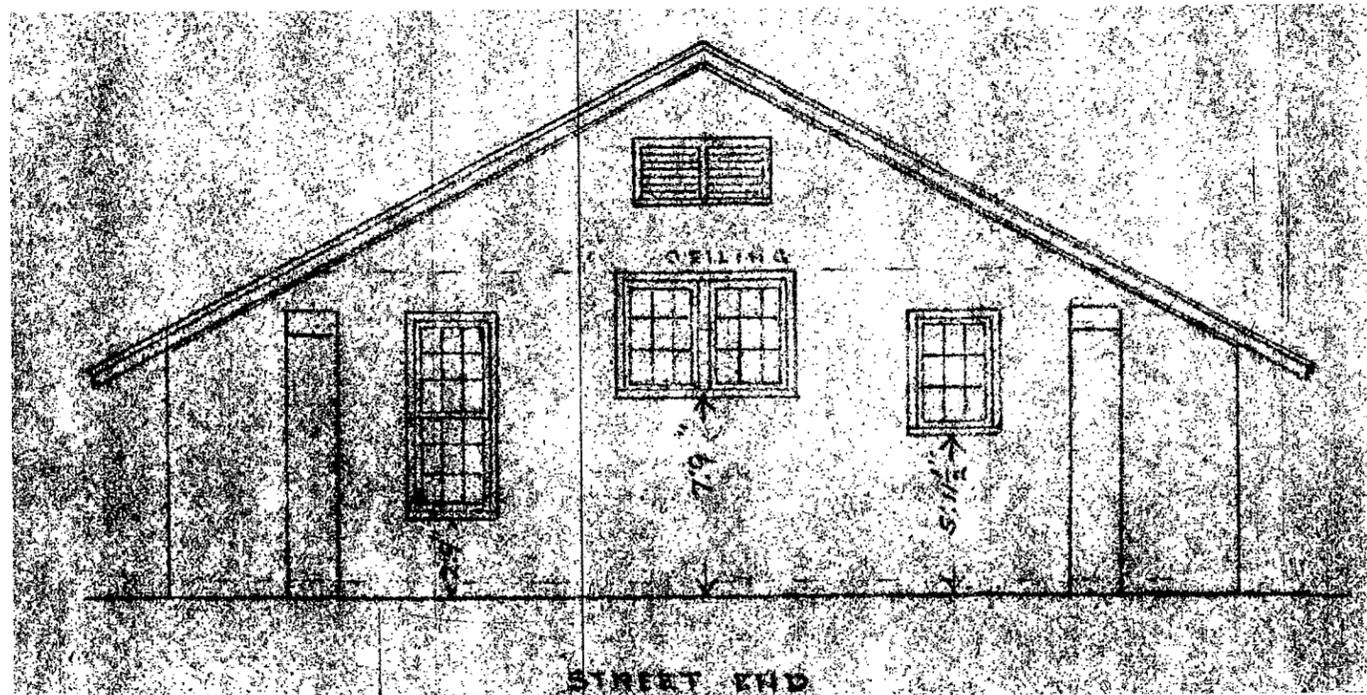
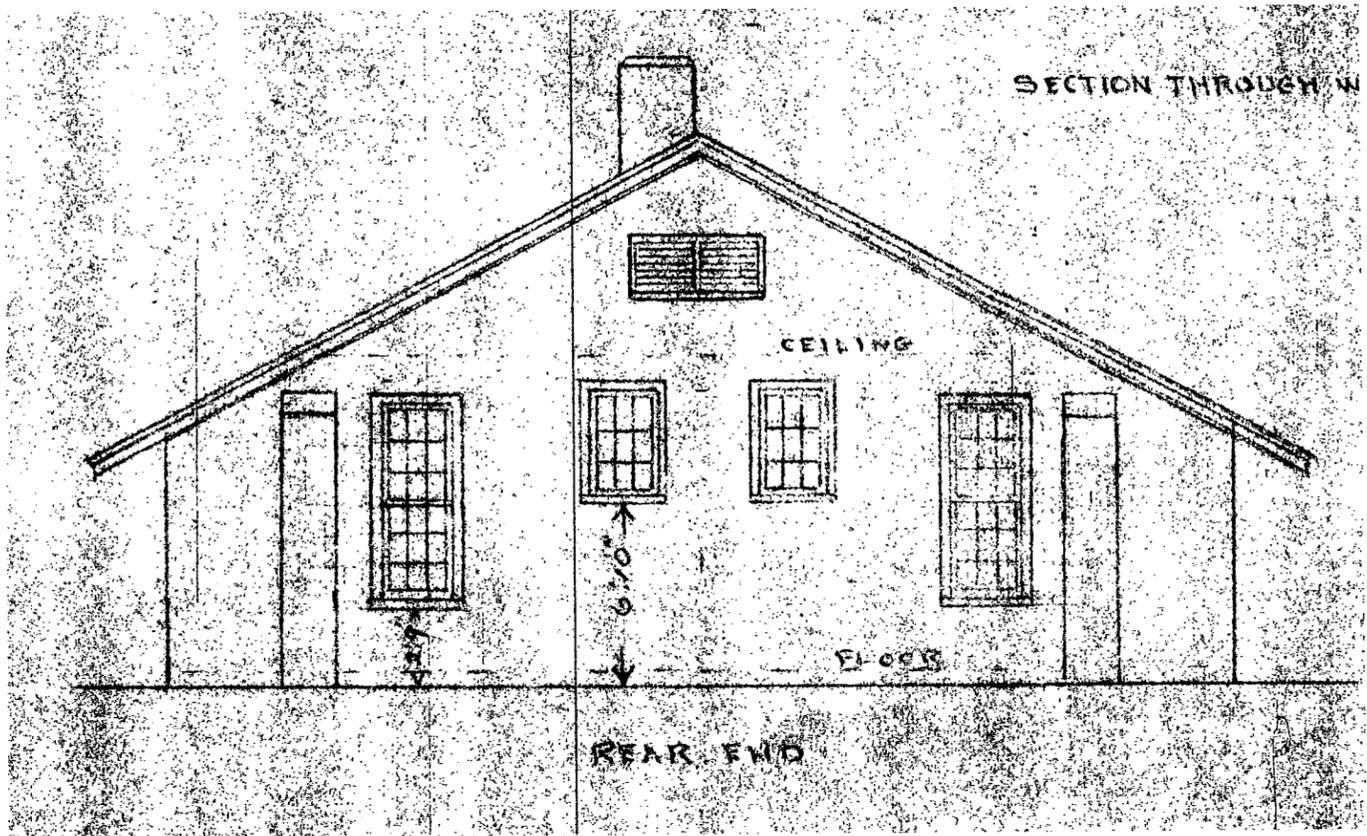
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1  
HD.4

**Historic Documents - Exterior Elevations**  
Not To Scale

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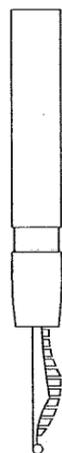


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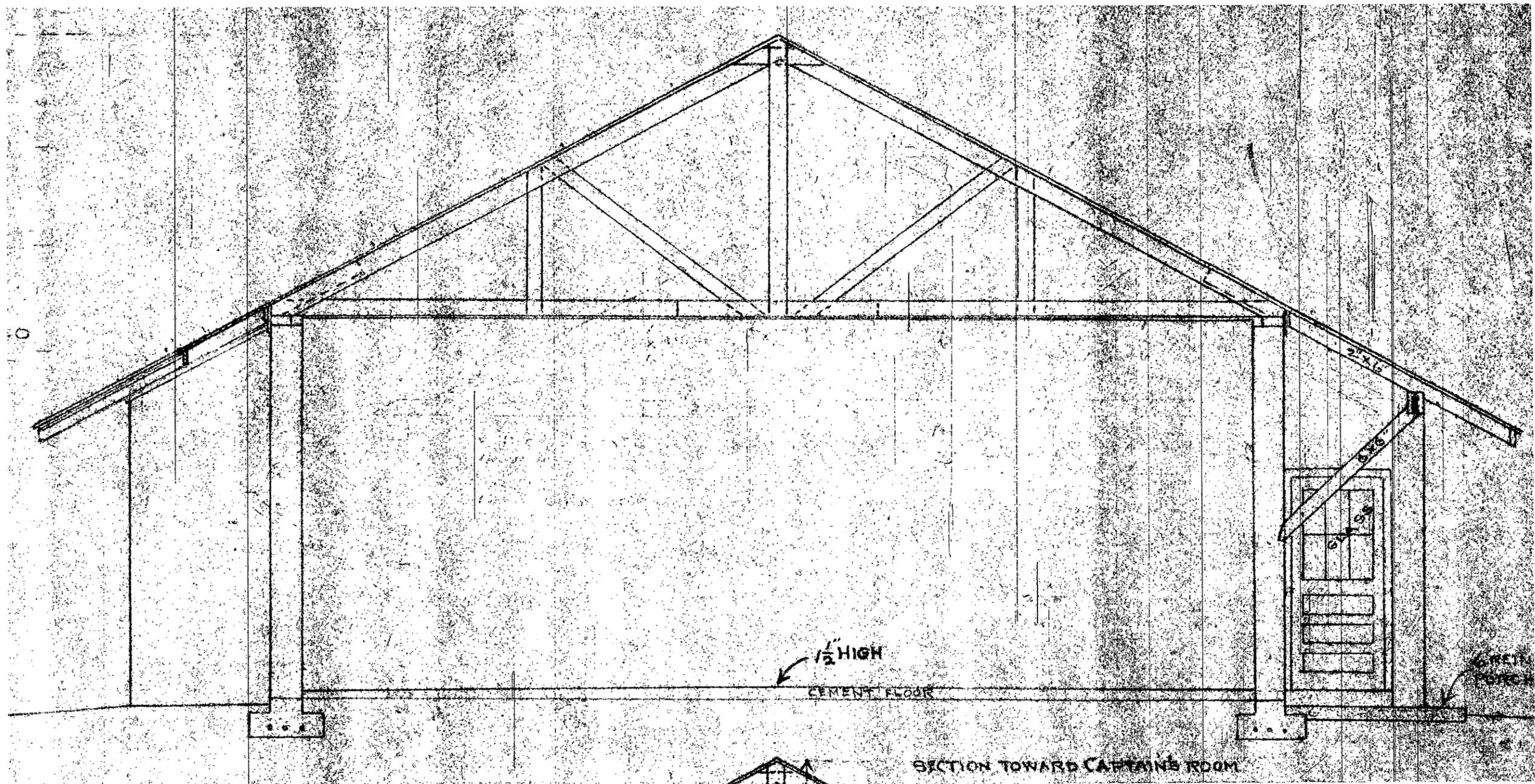
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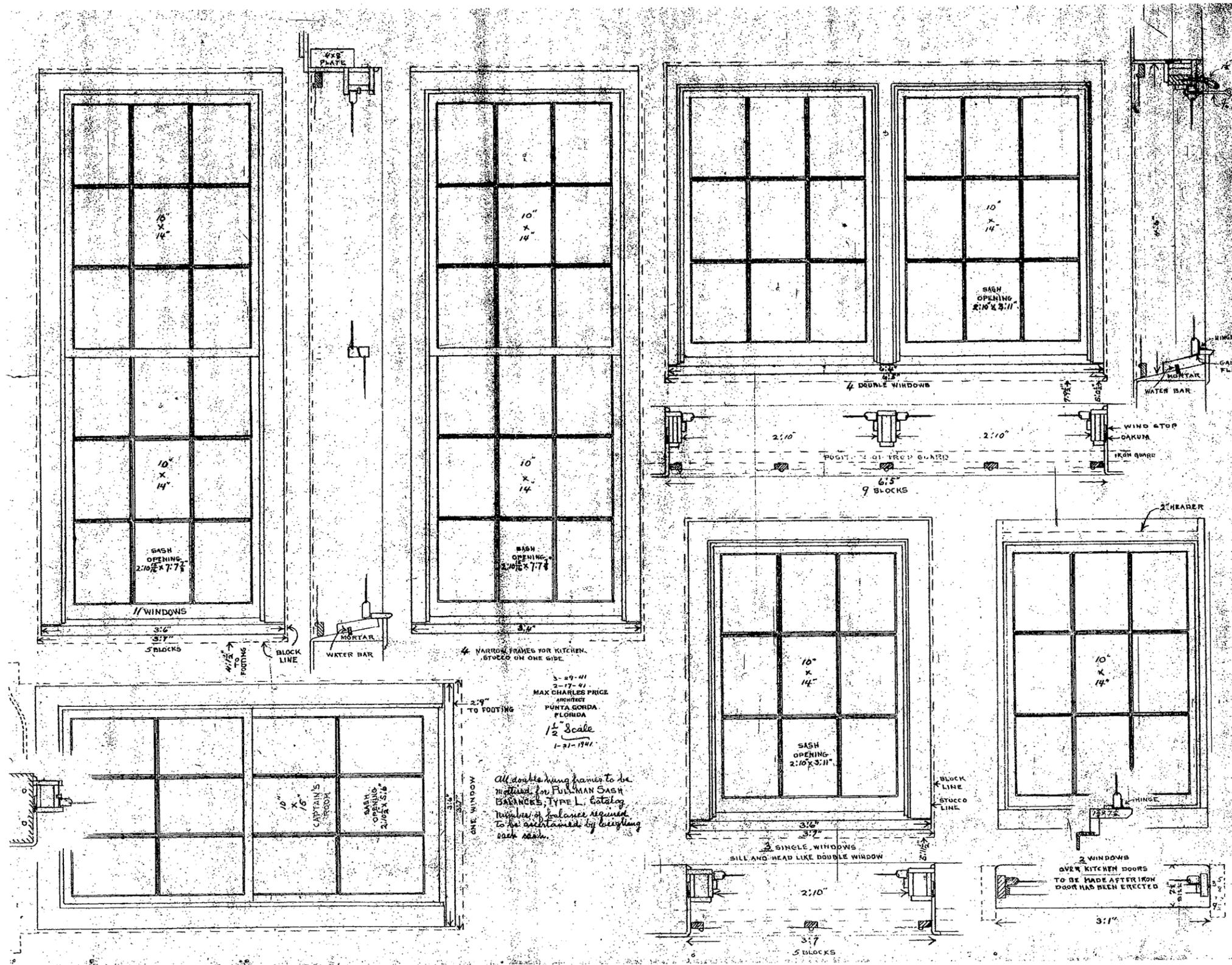
**HD.6**  
AA 0003318



1  
HD.6

**Historic Documents - Building Section Towards Captain's Room**  
Not To Scale





3-29-41  
 2-17-41  
 MAX CHARLES PRICE  
 ARCHITECT  
 PUNTA GORDA,  
 FLORIDA  
 1/2" Scale  
 1-21-1941

All double hung frames to be  
 matched for FULLMAN SASH  
 BALANCES, TYPE L. Catalog  
 number of balance required  
 to be ascertained by weighing  
 each sash.

1  
 HD.8

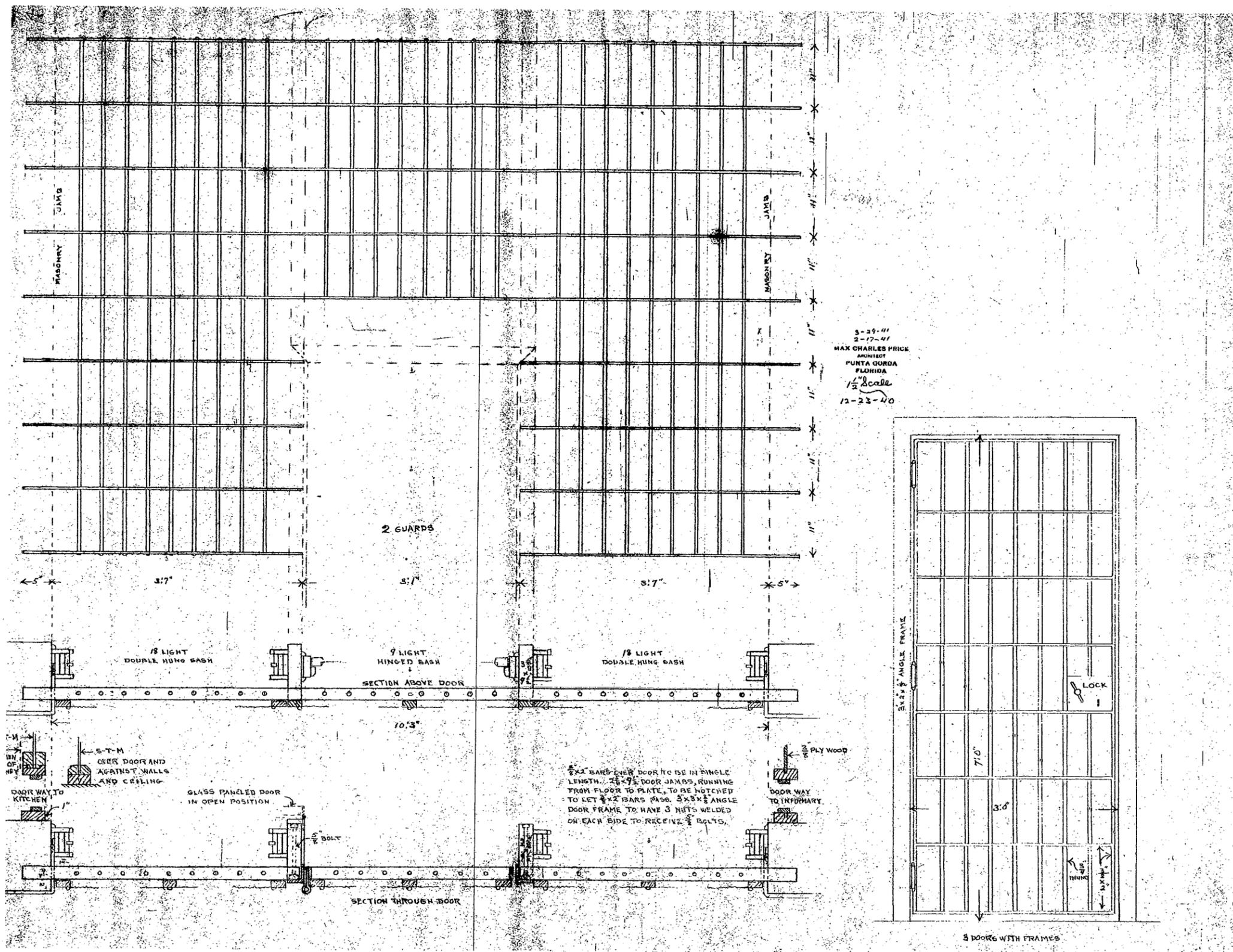
Historic Documents - Window Details  
 Not To Scale

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1  
HD.10

Historic Documents - Jail Cell Bars Details  
Not To Scale

MD 2005  
Analysis 4.2006

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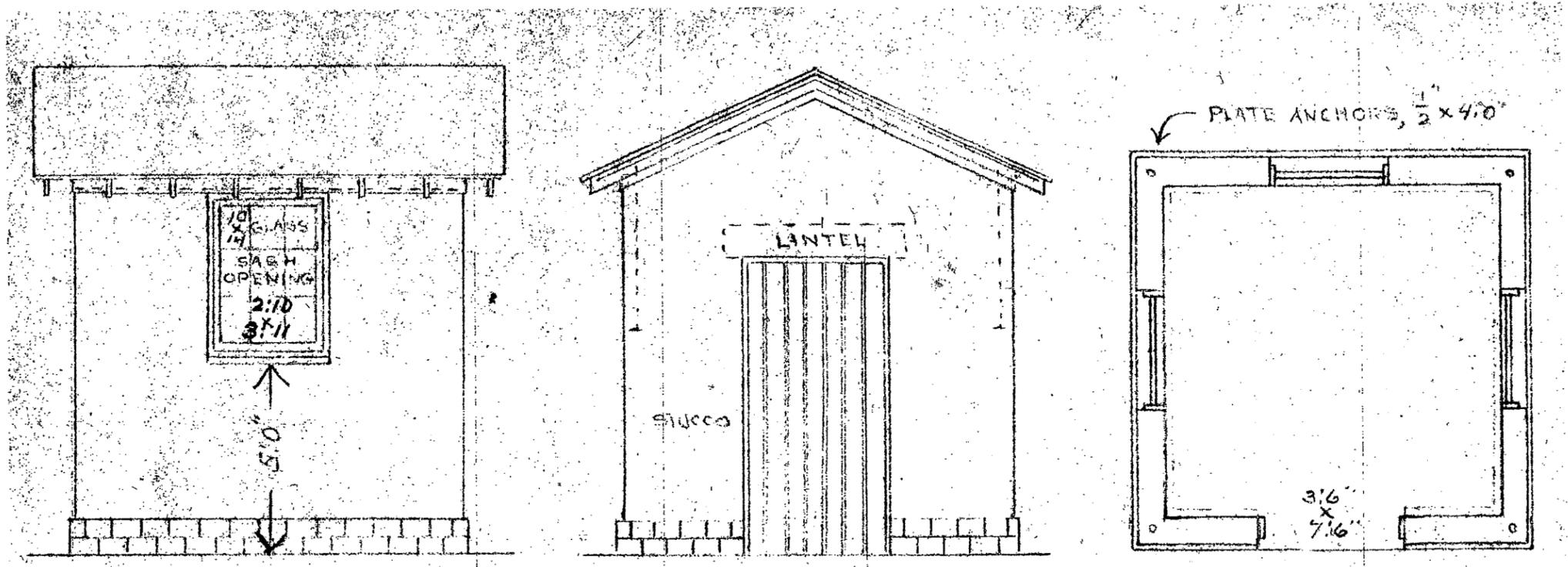
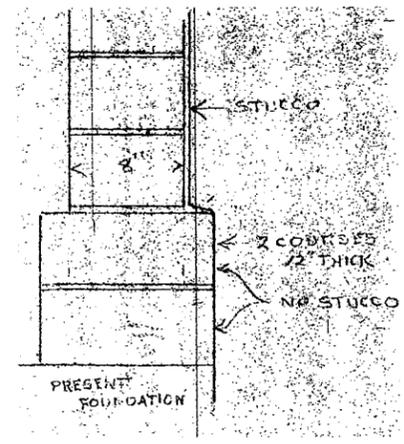
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**HD.10**  
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FRONT  
**PUMP HOUSE**  
1/4" Scale  
5-V CRIMP ROOFING  
12 - 7 FOOT SHEETS

2  
HD.11 **Pump House Detail**  
Not To Scale

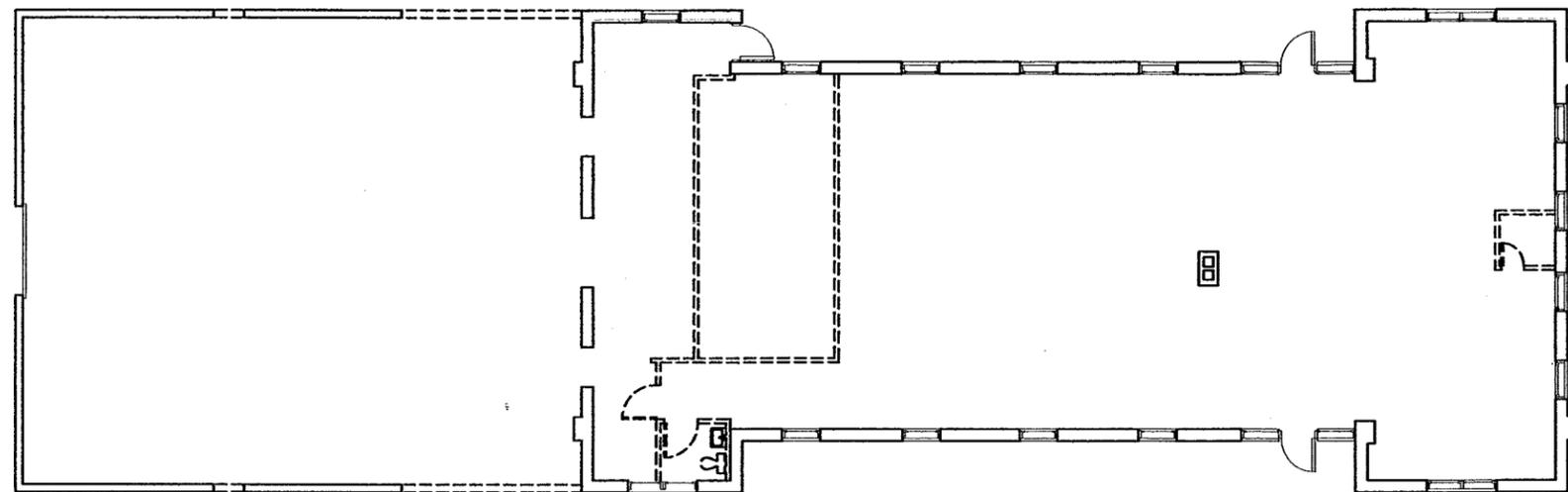
1  
HD.11 **Historic Documents - Pump House**  
Not To Scale



## VIII. ADAPTIVE RE-USE SCHEMATIC DESIGN DRAWINGS

D.1 Proposed Demolition Plan

SD.1 Proposed Schematic Design Floor Plan



1  
D.1

## Proposed Demolition Plan

1/16" = 1'-0"



## DRAWING NOTES

### General Notes

Investigative demolition should be limited in scope, to maintain the least amount of disruption possible while allowing discovery and verification of original materials and original location and sizes of doors and windows. Photo document all activities and findings.

Demolition of modern additions should be completed with care, to protect existing finishes and materials to remain. Immediately following demolition of modern construction, the remaining original building materials should be inspected, photographed and protected from damage from inclement weather or vandalism.

### Symbol Legend

1 See Plan Notes, below.

----- Existing Walls to remain.

===== Existing Walls to be demolished.

### First Floor Demolition Notes

1. Conduct field meeting with Owner & Architect prior to any work.
2. Remove, label, and store historic fixtures and hardware as required. Verify with Architect for disposition. Inspect, clean, repair & store all fixtures to be reinstalled.
3. Remove non-historic interior finishes in designated areas as needed, to verify locations and sizes of original historic door and window openings. Historic framing, doors, jail-bars, windows and window frames to remain. Inspect surrounding areas for damage and prep for restoration or repair.
4. Remove portion of non-historic north building addition; shore and protect all roof framing members, masonry walls and finishes to remain. Prior to demolition activities: contractor or engineer to inspect roof framing and masonry walls for stability, and walls to be inspected by architect for evidence and location of original wall openings and fenestration.
5. Remove non-historic interior walls. Protect adjacent materials to remain, including concrete floor.
6. Remove modern fixtures, casework and trim as required.
7. Relocate or replace existing systems as determined by engineer and architect. Provide new location as determined by Architect, Engineer and Owner.

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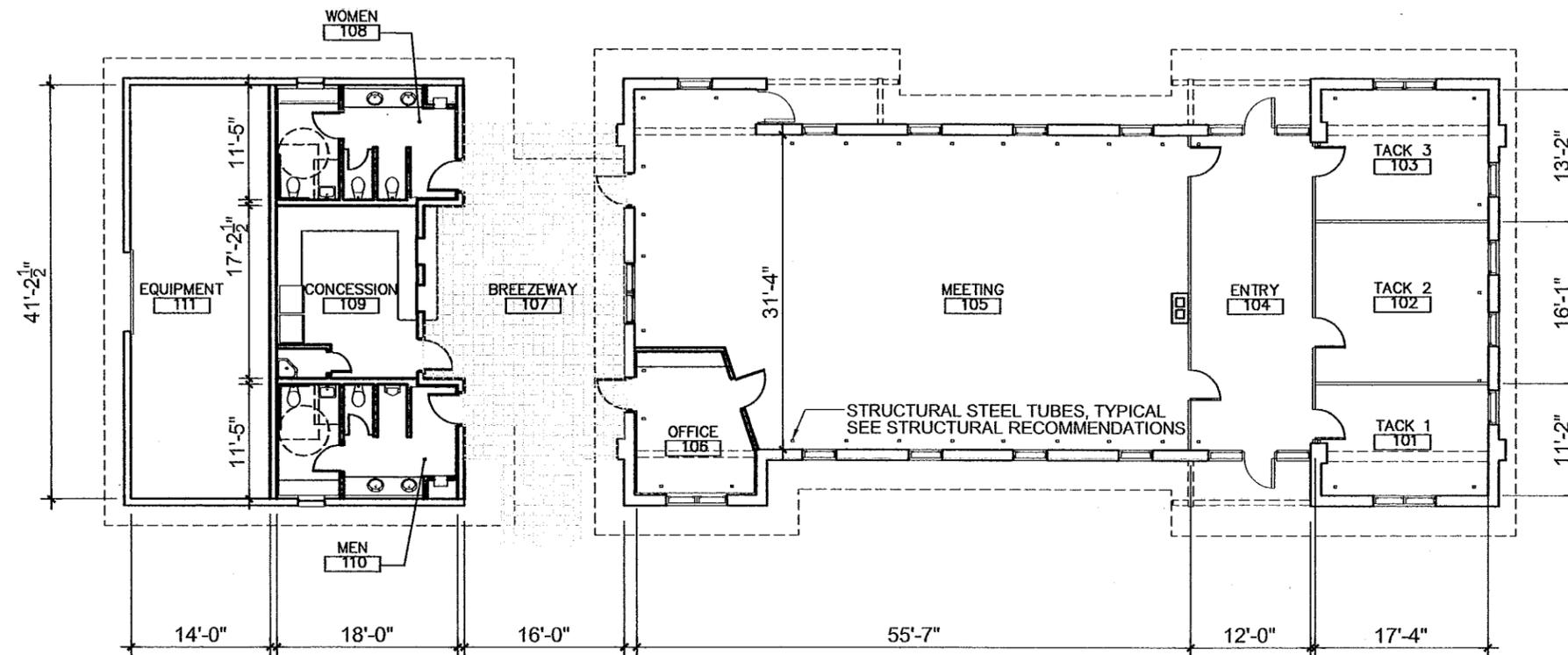
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**D.1**

AA 0003318



**DRAWING LEGEND**

- ==== Existing wall to remain.
- ==== New wall, align finishes with existing where shown.
- Structure or edge of roof overhang above.

1  
SD.1

**Proposed Schematic Floor Plan**

1/16" = 1'-0"



**DRAWING NOTES**

**General Notes**

See Sheet A3 for dimensions of existing building elements.  
See Sheet A5 for Condition of Fenestration & Security Bars.

The schematic design is based on program information provided by Charlotte County September 2007.

Dimensions are nominal, and are shown for general planning purposes only.

Dashed lines indicate beams, and edge of roof overhang above. Floor lines indicate change in floor finish, change in floor level, or joints in finish materials. New partitions proposed in the historic building duplicate locations of original steel bars or partitions in that building. See Sheet HD.1 for locations of all original bars and partitions.

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AA 0003318

**IX. ORDER OF MAGNITUDE COST ESTIMATE**

# Charlotte County Feasibility Study

## Carmalita Stockade

### Order of Magnitude Construction Cost Estimate

31-Oct-08

		Estimated Quantity	Unit	Unit Price	Amount
<b>Division 01</b>	<b>General Requirements</b>				\$ 39,500.00
	General Conditions		1	\$ 35,000.00	\$ 35,000.00
	Equipment		1	\$ 4,500.00	\$ 4,500.00
<b>Division 02</b>	<b>Site Construction</b>				\$ 73,000.00
	Shoring/Stabilization		1	\$ 8,500.00	\$ 8,500.00
	Selective Structure Demolition		1	\$ 35,000.00	\$ 35,000.00
	Trenching/Utilities		1	\$ 5,500.00	\$ 5,500.00
	Grading		1	\$ 4,000.00	\$ 4,000.00
	Landscaping and Irrigation*		1	\$ 20,000.00	\$ 20,000.00
<b>Division 03</b>	<b>Concrete</b>				\$ 40,375.00
033000	Cast-In-Place Concrete Foundations	800	SF	\$ 35.00	\$ 28,000.00
034500	Cast-In-Place Concrete Slab	2,250	SF	\$ 5.50	\$ 12,375.00
<b>Division 04</b>	<b>Masonry</b>				\$ 9,750.00
042000	Unit Masonry	500.00	SF	\$ 19.50	\$ 9,750.00
<b>Division 05</b>	<b>Metals</b>				\$ 70,500.00
053100	Steel Frame	1	EA	\$ 37,500.00	\$ 37,500.00
055100	Specialty Steel Fabrications	1	EA	\$ 3,000.00	\$ 3,000.00
051100	Steel Security Bars	1	EA	\$ 30,000.00	\$ 30,000.00
<b>Division 06</b>	<b>Woods and Plastics</b>				\$ 74,540.00
061000	Rough Carpentry	1	EA	\$ 21,500.00	\$ 21,500.00
062000	Finish Carpentry (Ceiling)	3,280	SF	\$ 11.75	\$ 38,540.00
062000	Finish Carpentry (Other)	1	EA	\$ 14,500.00	\$ 14,500.00
<b>Division 07</b>	<b>Thermal and Moisture Protection</b>				\$ 33,720.00
072100	Building Insulation	4,200	SF	\$ 4.85	\$ 20,370.00
076200	Sheet Metal Flashing	750	LF	\$ 15.00	\$ 11,250.00
079200	Joint Sealants	1	EA	\$ 2,100.00	\$ 2,100.00
<b>Division 08</b>	<b>Doors and Windows</b>				\$ 156,900.00
081000	Exterior Replicated Doors	3	EA	\$ 4,675.00	\$ 14,025.00
083113	Interior Doors and Frames	10	EA	\$ 2,150.00	\$ 21,500.00
084113	Windows-Replicated	27	EA	\$ 3,750.00	\$ 101,250.00
085113	Window - Overhead Coiling	1	EA	\$ 3,125.00	\$ 3,125.00
088000	Glazing	1	EA	\$ 17,000.00	\$ 17,000.00
<b>Division 09</b>	<b>Finishes</b>				\$ 98,690.00
092200	Exterior Finish (Stucco)	1,200	SF	\$ 6.00	\$ 7,200.00
092900	Gyp Board Light Gage Metal Frame	2,700	SF	\$ 5.00	\$ 13,500.00
093000	Ceramic/Quarry Tile	1,200	SF	\$ 9.50	\$ 11,400.00
096500	Resilient Flooring and Accessories	300	SF	\$ 1.50	\$ 450.00
096855	Concrete Etch and Seal	3,280	SF	\$ 6.75	\$ 22,140.00
099100	Painting	22,000	SF	\$ 1.50	\$ 33,000.00
99300	Specialty Finishes	1	LS	\$ 11,000.00	\$ 11,000.00
<b>Division 10</b>	<b>Specialties</b>				\$ 133,400.00
104416	Fire Extinguishers	6	EA	\$ 275.00	\$ 1,650.00
105330	Walkway Covers	150	SF	\$ 75.00	\$ 11,250.00
106770	Toilet Accessories/Partitions	1	EA	\$ 15,500.00	\$ 15,500.00
<b>Division 11</b>	<b>Equipment</b>				\$ 52,500.00
108950	Kitchen Equipment	1	EA	\$ 45,000.00	\$ 45,000.00
110790	Storage Systems (Tack)	3	EA	\$ 2,500.00	\$ 7,500.00

		Estimated Quantity*	Unit	Unit Price	Amount
<b>Division 14</b>	<b>Conveying Systems</b>				
<b>Division 15</b>	<b>Mechanical</b>				\$ 158,045.00
210000	HVAC System	4,780	SF	\$ 19.00	\$ 90,820.00
139300	Fire Sprinklers	4,780	SF	\$ 3.75	\$ 17,925.00
211000	Plumbing	17	EA	\$ 2,900.00	\$ 49,300.00
<b>Division 16</b>	<b>Electrical</b>				\$ 230,375.00
260100	Electrical Service	1	EA	\$ 12,500.00	\$ 12,500.00
260500	Lighting, Power and Data	5,250	SF	\$ 32.00	\$ 168,000.00
260700	Fire/Security Alarm	5,250	SF	\$ 9.50	\$ 49,875.00
	<b>Subtotal</b>				<u>\$ 1,171,295.00</u>
	Construction Management Costs	4%		\$ 1,171,295.00	\$ 46,851.80
	CM OH&P	10%		\$ 1,218,146.80	\$ 121,814.68
	<b>Subtotal</b>				<u>\$ 1,339,961.48</u>
	Contingency	20%		\$ 1,339,961.48	<u>\$ 267,992.30</u>
	<b>TOTAL BUILDING</b>				<u>\$ 1,607,953.78</u>
	<b>PROJECT EXPENSES</b>				
	Architectural & Engineering Fees	8.5%		\$ 136,676.07	
	Topo and Boundary Survey*			\$ 12,500.00	
	Hazardous Material Abatement*			\$ 9,000.00	
	Bonds	3.0%		\$ 48,238.61	
	<b>Subtotal Project Expenses</b>				<u>\$ 206,414.68</u>
	<b>TOTAL PROJECT COST</b>				<u>\$ 1,814,368.46</u>