



COMMUNITY DEVELOPMENT

VOLUME 1, ISSUE 1

OCTOBER 2014

AVERAGE PERMIT TIMES (BUS. DAYS)

Single Family	13
Res Additions and Remodels	8
Residential Accessories	8
Residential Resubmittals	4
New Commercial Buildings	21
Commercial Build-outs and remodels	21
Commercial Accessories	8
Commercial Resubmittals	13

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Community Development introduces monthly newsletter

Communication has been highlighted as an area that the Community Development Department can improve upon.

We have become so focused on moving applications through our process, dotting "i's" and crossing "t's" that we sometimes forget to tell our customers what those "i's" and "t's" are.

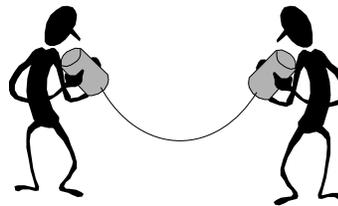
In an effort to improve communication between the department and our customers and stakeholders, the Community Development Department will be issuing this e-newsletter every month.

The newsletter will be focused on several different areas:

- What's happening in the department including time-

scales, statistics or any new applications of interest.

- Any changes or enhancements that may impact our customers.



- Any learning opportunities the department is offering.
- A spotlight on a function, feature or service offered by the department.

The newsletter will be emailed to all contractors, the Charlotte Desoto Building Industry Associ-

ation, will be available on the departments web site and can be picked up in our lobby.

As we get busier (and we are definitely getting busier), we understand the need to get information to you in a format that is easily accessible to you and we will be using this, along with our web site, as our primary means of communication.

This is your newsletter though. Please help us by giving us feedback and asking for specific subjects to be covered. If there is a topic you would like us to cover, a question you have or any other feedback, please send it to BCS@charlottefl.com or call 941.743.1245.



Upcoming Changes - Inspections

In order to improve service levels, the department is making some changes in the way building inspections are handled.

Inspection types are being standardized to closely match those required by the Florida Building Code.

In addition, several inspection

types have been consolidated to more accurately reflect the number of visits to the sites.

A big improvement is that all of the inspections needed will be available to be scheduled through our online services.

To ensure everyone is aware of

the changes, and to schedule the inspections you need - **PLEASE** make sure you **READ** your **JOB CARD** before requesting your inspection - your inspection number may have changed. If you have any questions, please call us on 941.743.1201.

How are we doing?



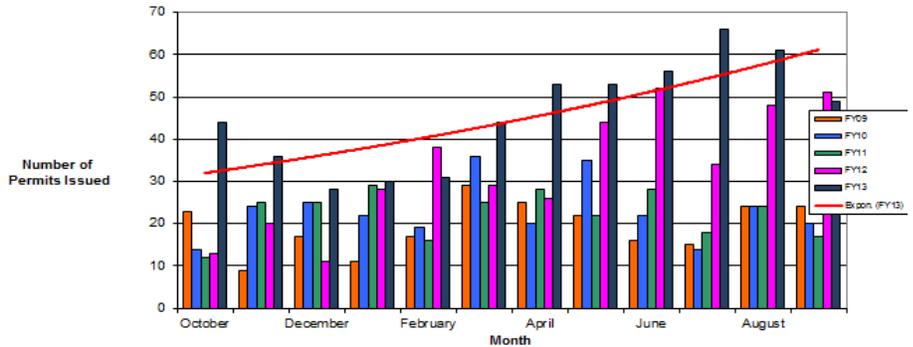
Activity in the Community Development Department is measured in several different ways. We will highlight one metric per month and our first, and most important, is single family home permits.

This is a nationally recognized indicator, often referred to in the media as new home starts. This chart shows the single family activity over the past five years and includes the total valuation of structures. The red trend line shows the increase in the 2013/2014 fiscal

year and shows that permits are steadily increasing, a trend that is being mirrored nationwide.

In this fiscal year, we have issued 40% more permits than last year with 551 new single family home permits issued. This is great thing for the County and hopefully shows that we are on our way to recovery.

5 Year History of Single Family Residence Permits Issued by Month



Engineering Letters



Under certain circumstances, the Building Official may permit an Engineer or Architect to provide the department with a letter in lieu of an inspection.

This is allowed on a case by case basis and should only be obtained at the request of the Building Official (or designee).

There are, however, certain regulations surrounding these

letters and we have found that we are having to reject more and more because they don't comply with the applicable regulations.

In a declaratory statement issued by the Building Code Administrators and Inspectors Board (2007-009), they concluded that an Architect or Engineer MAY NOT delegate the responsibility of an inspec-

tion to anyone who is not licensed as an architect, engineer or a building inspector.

We have received letters referring to inspections by contractors and designers or draftsmen. This is not allowed and we have no option but to reject them.

Please check with us if you are unsure if a letter will be acceptable to the department by calling 941.743.1201 or emailing bcs@charlottecountyfl.gov.

County and Community Collaborate



The Building Industry Oversight Committee (BIOC) has been in existence for over ten years and provides oversight and guidance to the Community Development Department. It is made up of representatives from the construction

industry and meets monthly with County Staff. The meetings are also attended by a representative from the County Administrator's office and a County Commissioner. They are collaborative meetings aimed at providing feedback and input directly from those who use the department's

services most. The focus is on building permits but other issues impacting the construction community are also discussed.

The meetings are open to the public. For more information, please contact Keith Morgan at Keith.Morgan@charlottecountycl.gov or 941.743.1245 for more information.

Spotlight on our Director - Theophilus “Ty” Harris



Ty Harris
Community Development Director

Ty worked for many years as a private land use attorney, primarily on the east coast of Florida. Ty Earned his BSc in Political Science

from Florida State and his law degree from the University of Miami. He moved to Charlotte County in 2012 after an extensive career that saw him working anywhere from the Florida legislature to his own law firm. His first job in the County

was as the Land Use Attorney and he quickly earned a reputation that helped him move in to the Community Development Director’s position when it became available.

Outside of work, Ty is devoted to his family. He and his wife (Mary Beth) can often be found riding their bicycles around Punta Gorda or supporting their son Quinn, and daughters Bailey and Megan in their various sporting activities.

Ty’s passion, and one which made him fall in love with Charlotte County, is deep sea fishing and boating,

Ty is committed to providing excellent customer service and is always looking for feedback and new ideas to move the department forward. If you think you have any suggestions or input, please reach out to him. His email is Ty.Harris@charlottecountyfl.gov call on 941.764.4909.

Ty was appointed Community Development Director in January 2014 and since then has been head deep in some changes to the Smart Charlotte 2050 Comprehensive Plan .



Report Unlicensed Activity

If you are a properly licensed contractor, you know what you have to go through to obtain, and maintain, your license. Hours of studying, long and complex testing and on going education requirements, not to mention the cost of maintaining your correct insurances.

Unlicensed entities holding themselves out as contractors are a

danger to Charlotte County. They not only threaten your livelihood by taking business away from our properly licensed contractors, they are also threatening the life safety health and welfare of our citizens and business owners.

Unlicensed entities cannot obtain the required permits to perform their work. This may mean any warranty or future insurance claim surrounding the product is invalid.

They cannot obtain general liability insurance or workers compensation coverage putting all liability for any accidents firmly on the property owner - even if the accident is their fault.

Penalties for unlicensed entities can be up to \$2500 per citation and our team of Licensing Investigators depends on properly licensed contractors to be their eyes and ears in the field. Please report any incident you hear or see - contact 941.743.1201 to file a complaint.

Learning Opportunities



Staff recently held a workshop targeting roofing contractors and their staff. The aim was to help our contractors avoid some of the common issues we see in applications for roofing permits and during inspections.

Time is money in the construction industry and any delays in permitting can have a detrimental impact

on the contractor. Helping upfront to eliminate these common issues is a benefit to all involved. If you missed this workshop, the presentation and the entire taped workshop is available on our web site.

Save the date for our next workshop to be held on **November 13 at 3pm** in room 119, 18500 Mur-

dock Circle. The topic will be **Windows, Shutters and Door permits** and this will again be taped for future viewing. Invitations will be going out shortly with more details but all are welcome to attend. If you would like to see a specific topic addressed in a workshop, or would like to host a permitting workshop, please contact Don Jascomb at Don.Jascomb@charlottecountyfl.gov





Charlotte County Board of County Commissioners

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Office Hours:

Office - 7.30am to 4.45pm Mon thru Fri

Phones - 7.30 to 4.30 Mon thru Fri

To exceed expectations in the delivery of public services

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Overview of Community Development

Those of you that have been around a while have seen many changes in the structure of the department or the departments handling land development and permitting. We thought you may benefit from a brief overview of what we do.

Essentially, we handle anything that has to do with permitting on any parcel of land in the unincorporated sections of Charlotte County. This can be as big as a development of regional impact, right down to a water heater permit.

The department handles enforcement of all regulations pertaining to contractor licensing and also ensures that our local zoning and property maintenance regulations are properly followed.

Our planning division is responsible for developing the policy documents that drive development in Charlotte County. This is done through the

Comprehensive Plan which gives high level direction and is complimented by the Land Development Regulations that provides the regulatory language to ensure the provisions of the Comprehensive Plan are followed.

One of our most critical functions is maintaining the county's 911 address database. This ensures that emergency services know exactly where to find you should you have an emergency.

Some of our lesser known functions involve licensing for taxi cabs and fortune tellers, property research requests and registering vacant properties for the county.

Helping our customers learn more about our department or a specific aspect of our regulations is important to

us. If you belong to a community organization that you would like us to give a presentation, please contact us at bsc@charlottecountyfl.gov and we will be happy to help.

